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**SUBCHAPTER 12.66 NORTH HILLSBORO INDUSTRIAL AREA PLAN DISTRICT**

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**12.66.010 Purpose.**

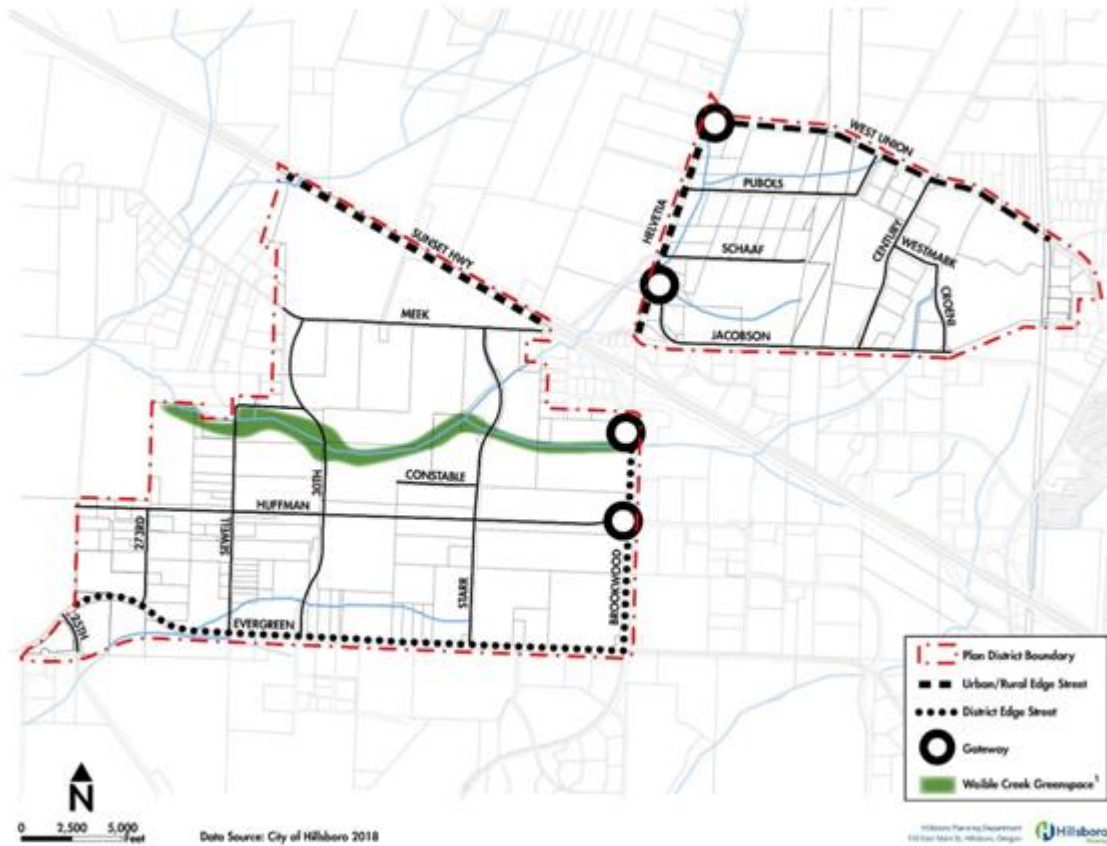
The North Hillsboro Industrial Area Plan District development and design standards reflect the City’s goals and objectives for North Hillsboro and are intended to implement the vision, goals, policies and principles outlined in the City of Hillsboro Comprehensive Plan and North Hillsboro Industrial Area Community Plan (HCP Section 30). (Ord. 6274 § 1, 2018)

**12.66.020 Applicability and Designation of Special Features.**

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- A. Plan District Boundary. The standards of this Section apply only within the North Hillsboro Industrial Area Plan District boundary as shown on Figure 12.66.020-A.
- B. Base Zones. The base zones used to implement the Industrial Comprehensive Plan designation within North Hillsboro include: I-P (Industrial Park), I-S (Industrial Sanctuary), HSID (Helvetia Special Industrial District), ESID (Evergreen Special Industrial District) and SSID (Shute Special Industrial District). In some cases, the base standards of these zones are modified by this plan district to achieve the purpose of the North Hillsboro Industrial Area Plan District.
- C. Special Features. Specific standards within this Section apply to the following special features as shown on Figure 12.66.020-A.
  - Urban/Rural Edge Streets
  - District Edge Streets
  - Gateways
  - Waible Creek Greenspace

**Figure 12.66.020-A:  
North Hillsboro Industrial Area Plan District Boundary and Special Features**



<sup>1</sup> Greenspace corridor location shown is approximate. See Section 12.66.130.C for instructions on calculating the Waible Creek Greenspace setback.

(Ord. 6274 § 1, 2018)

### 12.66.030 Overview of Development and Design Standards.

Table 12.66.030-1 summarizes the applicability of Subchapter 12.50 Development and Design Standards within the North Hillsboro Industrial Area Plan District.

**Table 12.66.030-1:  
Applicability of Subchapter 12.50 Standards**

| Standard                   | Applicable Code Sections   |
|----------------------------|--|
| <b>Base Zone Standards</b> |  |
| Lot Dimensions             | The standards of <a href="#">12.50.110</a> apply.  |
| Residential Density        | The standards of <a href="#">12.50.120</a> are not applicable.   |
| Setbacks                   | The standards of <a href="#">12.50.130</a> apply except as modified by <a href="#">12.66.130</a> .           |
| Building Height            | The standards of <a href="#">12.50.140</a> apply.  |
| Floor Area Ratio           | The standards of <a href="#">12.50.150</a> apply.  |
| <b>Site Design</b>         |  |
| Usable Open Space          | The standards of <a href="#">12.50.210</a> are not applicable.   |
| Landscaping                | The standards of <a href="#">12.50.220</a> apply in addition to the standards in <a href="#">12.66.220</a> . |

| Standard   | Applicable Code Sections   |
|--|--|
| Tree Preservation  | The standards of <a href="#">12.50.230</a> apply except as modified by <a href="#">12.66.230</a> .           |
| Exterior Lighting  | The standards of <a href="#">12.50.240</a> apply.  |
| Fences, Free-Standing Walls, Hedges and Berms  | The standards of <a href="#">12.50.250</a> apply except as modified by <a href="#">12.66.250</a> .           |
| Sight Distance / Vision Clearance  | The standards of <a href="#">12.50.260</a> apply.  |
| <b>Vehicle Parking</b>   |  |
| Purpose, Applicability and Maintenance Responsibilities  | The standards of <a href="#">12.50.310</a> apply.  |
| Number of Spaces Required  | The standards of <a href="#">12.50.320</a> apply.  |
| Exempt Parking   | The standards of <a href="#">12.50.330</a> apply.  |
| Credit for On-Street Parking   | The standards of <a href="#">12.50.340</a> apply.  |
| Vehicle Parking and Loading: Location  | The standards of <a href="#">12.50.350</a> apply in addition to the standards in <a href="#">12.66.350</a> . |
| Vehicle Parking and Loading: Design and Improvements   | The standards of <a href="#">12.50.360</a> apply except as modified by <a href="#">12.66.350</a> .           |
| <b>Bicycle Parking / Bicycle and Pedestrian Circulation and Connectivity</b>                           |  |
| Bicycle Parking  | The standards of <a href="#">12.50.410</a> apply.  |
| On-Site Pedestrian and Bicycle Circulation   | The standards of <a href="#">12.50.420</a> apply.  |
| Off-Site Pedestrian and Bicycle Connectivity   | The standards of <a href="#">12.50.430</a> apply.  |
| Connectivity and Design Standards at or near Minor Transit Stops                                       | The standards of <a href="#">12.50.440</a> apply.  |
| Connectivity and Design Standards at or near Major Transit Stops                                       | The standards of <a href="#">12.50.450</a> apply.  |
| <b>Access and Street Standards</b>   |  |
| Purpose, Applicability and Exceptions  | The standards of <a href="#">12.50.510</a> .   |
| Street Connectivity and Access   | The standards of <a href="#">12.50.520</a> apply.  |
| Public Streets and Alleys Design and Improvement   | The standards of <a href="#">12.50.530</a> apply.  |
| Common Driveways and Private Streets: Design and Improvement   | The standards of <a href="#">12.50.540</a> apply.  |
| Sidewalk Widths; Design and Location   | The standards of <a href="#">12.50.550</a> apply.  |
| Street Trees   | The standards of <a href="#">12.50.560</a> apply.  |
| <b>Public Utilities General Requirements, Site Grading and Storm Water Facilities Site Integration</b> |  |
| Purpose, Applicability and Exceptions  | The standards of <a href="#">12.50.610</a> apply.  |
| Public Utilities General Requirements  | The standards of <a href="#">12.50.620</a> apply except as modified by <a href="#">12.66.620</a> .           |
| Site Grading   | The standards of <a href="#">12.50.630</a> apply.  |
| Storm Water Facilities Site Integration  | The standards of <a href="#">12.50.640</a> apply.  |
| <b>Design Standards for Residential Development</b>  |  |
| Detached Single Family, Duplex and Two-Unit Townhouse Residential Design Standards                     | The standards of <a href="#">12.50.710</a> are not applicable.   |

| Standard   | Applicable Code Sections   |
|--|--|
| Three or More Unit Townhouse and Multi-Family Residential Design Standards | The standards of <a href="#">12.50.720</a> are not applicable.   |
| <b>Design Standards for Non-Residential and Mixed-Use Development</b>      |  |
| Purpose and Applicability  | The standards of <a href="#">12.50.810</a> apply except as modified by 12.66.800.A and B.                    |
| Main Entries   | The standards of <a href="#">12.50.820</a> apply.  |
| Ground Floor Windows   | The standards of <a href="#">12.50.830</a> do not apply. They are superseded by <a href="#">12.66.830</a> .  |
| Articulation and Detailed Design   | The standards of <a href="#">12.50.840</a> do not apply. They are superseded by <a href="#">12.66.840</a> .  |
| Building Step-Back Requirements  | The standards of <a href="#">12.50.845</a> do not apply.   |
| Improvements and Activities between Streets and Buildings                  | The standards of <a href="#">12.50.850</a> apply.  |
| Waste and Recycling Facilities   | The standards of <a href="#">12.50.860</a> apply except as modified by <a href="#">12.66.860</a> .           |
| Sidewalk Dining and Displays in Light Rail Zones                           | The standards of <a href="#">12.50.870</a> do not apply.   |
| Drive Through Facilities in Light Rail Zones                               | The standards of <a href="#">12.50.875</a> do not apply.   |
| Outdoor Storage  | The standards of <a href="#">12.50.880</a> apply in addition to the standards in <a href="#">12.66.880</a> . |
| Utilitarian Functions  | The standards of <a href="#">12.50.890</a> apply except as modified by <a href="#">12.66.890</a> .           |
| <b>Public Benefit Standards</b>  |  |
| Purpose and Applicability  | The standards of <a href="#">12.50.910</a> apply.  |
| Building and Site Design Guidelines  | The guidelines of <a href="#">12.50.920</a> apply.   |
| Sustainable Development Practices  | The standards of <a href="#">12.50.930</a> apply.  |
| Crime Prevention through Environmental Design                              | The standards of <a href="#">12.50.940</a> apply.  |

(Ord. 6274 § 1, 2018)

### **12.66.100 Base Zone Standards.**

The base zone standards in the North Hillsboro Industrial Area Plan District include the following sections:

[12.66.110](#) Lot Dimensions

[12.66.120](#) Residential Density

[12.66.130](#) Setbacks

[12.66.140](#) Building Height

[12.66.150](#) Floor Area Ratio

(Ord. 6274 § 1, 2018)

### **12.66.110 Lot Dimensions.**

The standards of the applicable base zone or Section [12.50.110](#) shall apply in the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

## **12.66.120 Residential Density.**

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The standards of Section [12.50.120](#) are not applicable in the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

## **12.66.130 Setbacks.**

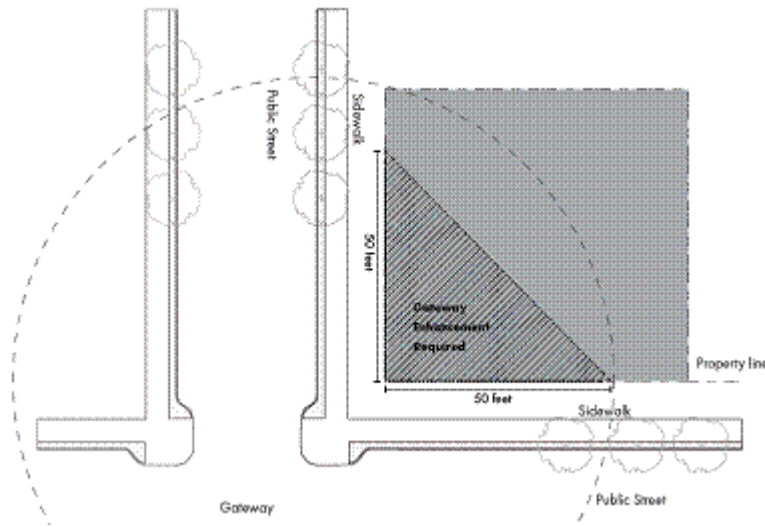
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Setbacks required by this section are not additive; they are coexistent (i.e., overlapping) with those required by other sections of the Development Code. The standards of Section [12.50.130](#) and applicable base zones apply except as modified below:

- A. District Edge Street Setbacks. Setbacks at property lines abutting District Edge Streets (designated on Figure 12.66.020-A) shall be a minimum of 35-foot in width. Landscaping within the District Edge Street Setback shall be in accordance with Subsection 12.66.220.C.
- B. Urban/Rural Edge Street Setbacks. Setbacks at property lines abutting Urban/Rural Edge Streets (designated on Figure 12.66.020-A) shall be a minimum of 50-foot in width. Landscaping within the Urban/Rural Edge Street Setback shall be in accordance with Subsection 12.66.220.D.
- C. Waible Creek Greenspace Setback. Properties abutting the Waible Creek Greenspace, shown on Figure 12.66.020-A, shall have a setback of 50 feet from the outermost edge of the Clean Water Services Vegetated Corridor. Landscaping within the Waible Creek Green-space setback shall be in accordance with Subsection 12.66.220.E.
  1. An easement for recreational trail and public access shall be granted for the entirety of the required setback area. The easement may be shown on the final plat or recorded as a separate easement document. In either case, the easement must be recorded prior to issuance of a certificate of occupancy. The land may be dedicated to the City instead of granting an easement.
  2. Within the Greenspace Setback, only passive recreation, stormwater management, and natural area enhancement uses shall be permitted. These uses include, but are not limited to:
    - a. Public multi-use paths;
    - b. Accessways;
    - c. Pedestrian trails and walkways;
    - d. Boardwalks;
    - e. Picnic areas;
    - f. Interpretive and educational displays;
    - g. Publicly accessible overlooks, observation towers, and viewpoints, including benches and outdoor furniture;
    - h. Bridges and related appurtenances for pedestrians, bicycles and motor vehicles; and
    - i. Stormwater facilities.
  3. Privately owned stormwater facilities located within the Greenspace Setback shall occupy a maximum of 25% of the total area of the Greenspace Setback on a single parcel. Regional stormwater facilities are exempt from this standard.
  4. The minimum Waible Creek Greenspace setback width may be waived or reduced by the Review Authority upon finding the setback is not necessary to implement key components or policies of the North Hillsboro Community Plan (HCP Section 30) related to greenspace corridors.
- D. Gateways. The following requirements shall apply to sites located adjacent to Gateways (designated on Figure 12.66.020-A). Landscaping within the Gateway setback shall be in accordance with Section [12.66.220](#).
  1. Area. Gateway Setbacks are required within 50 feet of a designated Gateway as measured along the property lines extending out from a property corner located in a Gateway. See Figure 12.66.130-B.
  2. Gateway Enhancements. Within the gateway, enhancements should emphasize the character of the district and the sense of the gateway as an important entry to the district.

- a. Development proposals shall provide the City with an access easement or other means to install and maintain streetscape and design elements such as seating, works of art or water features.

**Figure 12.66.130-B:  
Required Gateways**



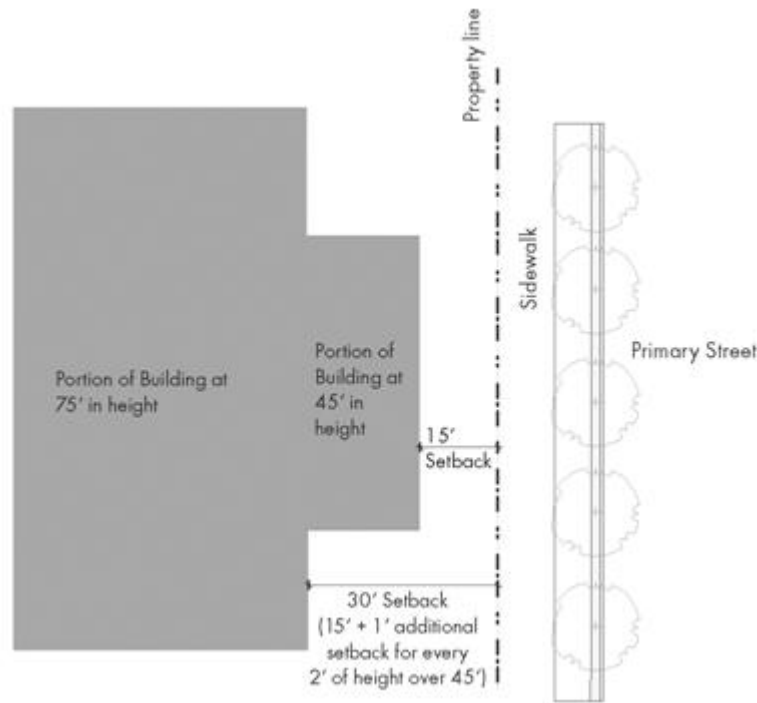
E. Exceptions to Minimum Setbacks. In addition to the setback exceptions permitted in Sub-section 12.50.130.H, the Review Authority may approve exceptions to a minimum setback standard under any of the following circumstances without a Variance or an Adjustment:

1. Front Yard Setback Reductions. Minimum front yard setbacks may be reduced in accordance with Table 12.66.130-1 to allow buildings to be closer to the street provided all of the following standards are met:
  - a. The street-facing façade abutting the reduced setback and the first 50 feet of any street-facing façade forming a corner with that façade provides windows in accordance with Section [12.66.830](#).
  - b. The street-facing façade abutting the reduced setback and the first 50 feet of any street-facing façade forming a corner with that façade provides articulation in accordance with Section [12.66.840](#).
  - c. No portion of a designated Gateway or Urban/Rural Edge Street Setback, as shown on Figure 12.66.020-A, shall be reduced by this subsection.

**Table 12.66.130-1: Reduced Minimum Front Setback**

| Standard  | Requirement | Clarifications  |
|---|-------------|---|
| Minimum Front Setbacks  |             |   |
| • Buildings up to 45 feet high  | 15 feet     |   |
| • Buildings > 45 feet in height   | 15 feet +   | 1 additional foot for every two feet of structural height over 45 feet* |
| *The additional setback applies only to those portions of a building over > 45 feet in height. Buildings step-backs may be used to comply with this standard. See Figure 12.66.130-A. |             |   |

**Figure 12.66.130-A: Building Step-Backs**



2. **Special Feature Setback Area Exchange.** Minimum front yard setbacks on properties abutting the Waible Creek Greenspace and/or an Urban/Rural Edge Street, as shown on Figure 12.66.020-A, may be reduced in accordance with Table 12.66.130-1 to allow buildings to be closer to the street provided all of the following standards are met within the reduced setback:

- a. The street-facing façade abutting the reduced setback and the first 50 feet of any street-facing façade forming a corner with that façade provides windows in accordance with Section [12.66.830](#).
- b. The street-facing façade abutting the reduced setback and the first 50 feet of any street-facing façade forming a corner with that façade provide articulation in accordance with Section [12.66.840](#).
- c. The total lineal feet of setback reduction is equal to or less than the total lineal feet of Waible Creek Greenspace and/or Urban/Rural Edge Street Setback on the property.
- d. No portion of a designated Gateway or Urban/Rural Edge Street Setback, as shown on Figure 12.66.020-A, shall be reduced by this subsection. (Ord. 6274 § 1, 2018)

### **12.66.140 Building Height.**

The standards of Section [12.50.140](#) and the applicable base zones apply in the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

### **12.66.150 Floor Area Ratio.**

The standards of Section [12.50.150](#) and the applicable base zones apply in the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

### **12.66.200 Site Design.**

Site design standards for the North Hillsboro Industrial Area Plan District include the following sections:

- [12.66.210](#) Usable Open Space
- [12.66.220](#) Landscaping
- [12.66.230](#) Tree Preservation
- [12.66.240](#) Exterior Lighting

[12.66.250](#) Fences, Free-Standing Walls, Hedges and Berms

[12.66.260](#) Sight Distance / Vision Clearance

(Ord. 6274 § 1, 2018)

### **12.66.210 Usable Open Space.**

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The standards of Section [12.50.210](#) are not applicable in the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

### **12.66.220 Landscaping.**

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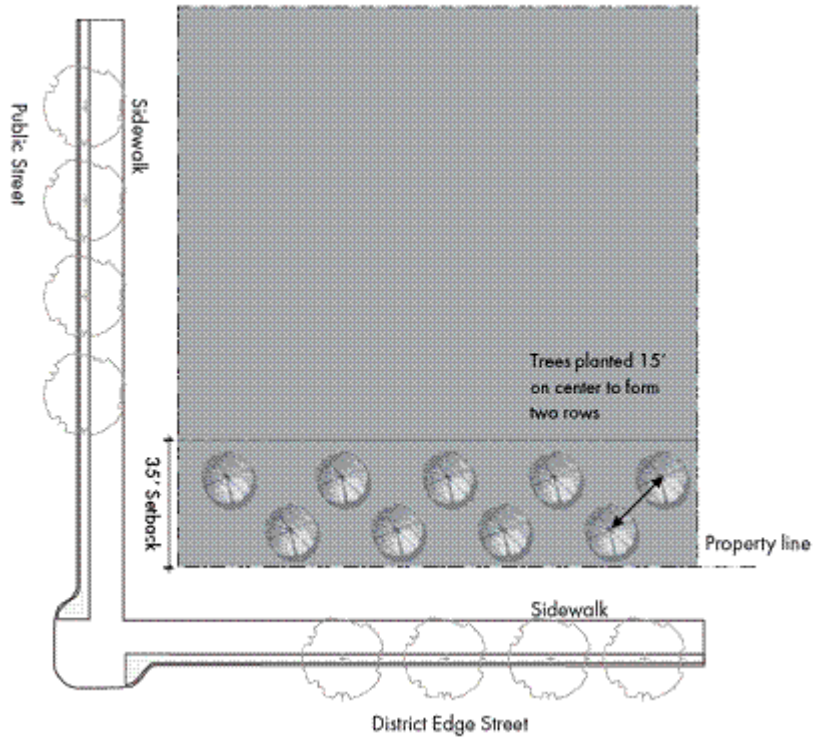
In addition to the standards of Section [12.50.220](#), within the North Hillsboro Industrial Area Plan District the following standards apply.

- A. **Purpose.** Enhanced requirements are intended to establish an appropriate and attractive rural/urban edge and district edge, improve the Waible Creek Riparian Corridor, as well as to encourage the establishment and vitality of Oregon White Oaks and other native plantings.
- B. **Landscape Materials.** Landscaping shall be designed to feature plant materials that evoke the character of the area focusing on Oregon White Oaks and other native plantings. Landscaping should be adaptable to climatic, topographic, and hydrologic characteristics and urban constraints. To maintain tree health, landscaping should be designed to avoid the need to water underneath mature oaks. Instead, landscaping near oaks should emphasize Pacific Northwest native grasses, wildflowers, perennial herbs, and shrubs. Native woodland or prairie plants can be used to create a natural landscape which does not require summer irrigation once established.
  1. Ground covers are required in all planting areas, unless the entire bed is planted with shrubs that branch out so that they cover the surface of the ground. Bark, mulch or other organic soil covers are not considered to meet this standard.
  2. Landscaping shall incorporate a mixture of vertical and horizontal elements such as ground cover, shrubs and trees and contain a mix of evergreen and deciduous plants.
  3. Irrigation methods shall minimize stormwater run-off through the use of drip irrigation, rain sensors, rotor irrigation heads and similar techniques.
  4. Berms, if utilized, shall be fully landscaped with a mixture of trees, shrubs, and groundcover.
  5. The preservation of existing mature and specimen trees is encouraged.
- C. **District Edge Street Landscape Design Standards.** The required setback for a designated District Edge Street, shown on Figure 12.66.020-A, shall include the following:
  1. A mixture of vertical and horizontal landscaping elements to provide visual and acoustic buffering;
  2. Landscaping shall be designed to provide screening of views of parking areas, vehicle maneuvering areas, and utilitarian features described in Subsection 12.50.890.C, and building façades which do not meet the design standards in Section [12.66.840](#) from the abutting District Edge Street by the time of occupancy; and
  3. Landscape design within the setback shall comply with the minimum size and spacing standards for landscaping materials in Table 12.50.220-1 and shall be designed to incorporate two rows of trees as shown on Figure 12.66.220-A except where such landscaping would interfere with the preservation of mature or specimen trees (as defined in Section [12.66.230](#)).

#### **Figure 12.66.220-A:**

#### **Landscaping Along Designated District Edge Streets**





D. Urban/Rural Edge Street Landscape Design Standards. The required setback for a designated Urban/Rural Edge Street, shown on Figure 12.66.020-A, shall include the following:

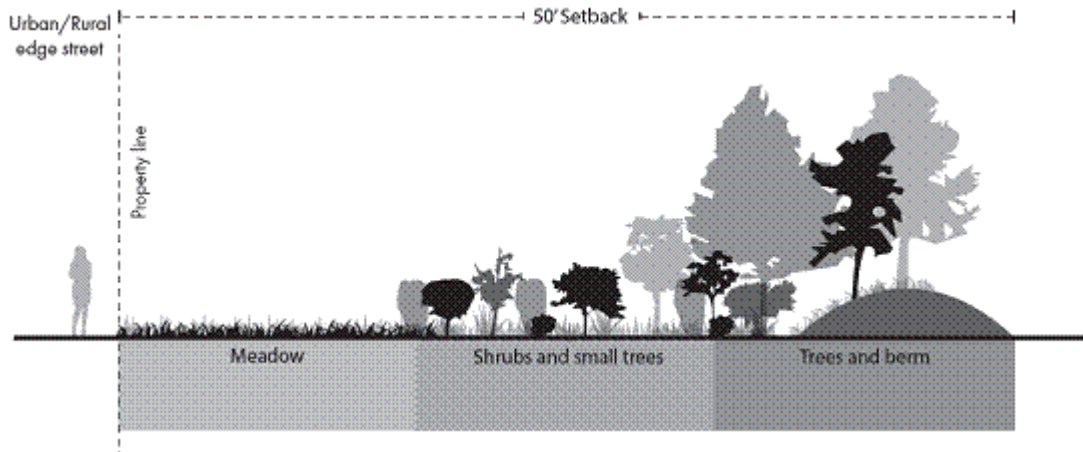
1. Landscaping shall be designed to provide screening of views of parking areas, vehicle maneuvering areas, utilitarian features described in Subsection 12.50.890.C, and building façades which do not meet the design standards in Section 12.66.840 from the abutting Urban/Rural Edge Street by the time of occupancy; and a visual transition between the industrial uses and the rural areas located across the right-of-way.
2. The required setback for a designated Urban/Rural Edge Street shall be landscaped as shown on Table 12.66.220-1 or the alternative treatment described in Subsection 12.66.220.D.3.
3. Properties having an Urban/Rural Edge Street setback with a negative slope exceeding a 10 feet differential between the property line and finish grade of the building may substitute a green roof covering a minimum of 75% of the building(s) for the landscape treatment described in Table 12.66.220-1. The Urban/Rural Edge Street Setback shall be landscaped in accordance with Subsection 12.66.220.B.

**Table 12.66.220-1 Landscape Treatments at Urban/Rural Edges**

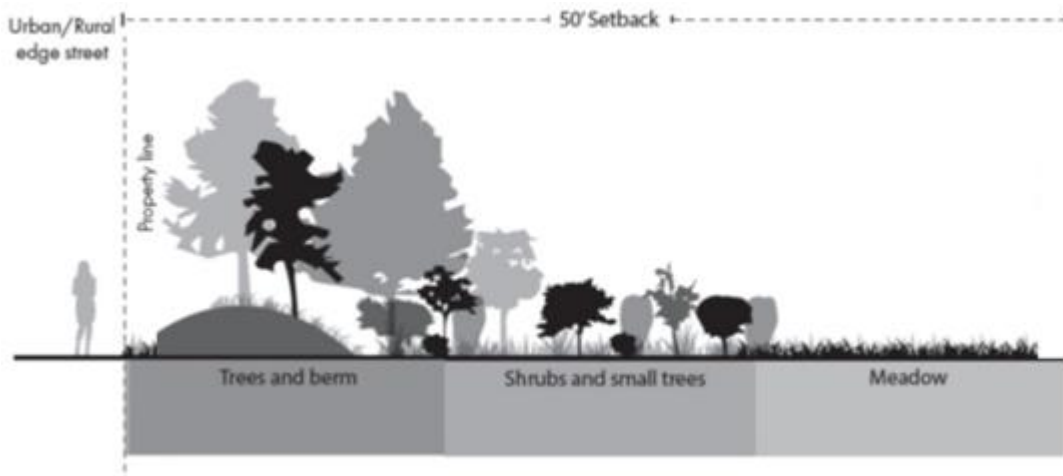
| Slope Differential from Property Line to Finished Grade <sup>1</sup> | Landscape Treatment  |
|--|--|
| Positive slope when finish grade is up to 10 feet higher             | A mixture of native plants of graduated height and treatments and berms as shown in Figure 12.66.220-B.  |
| Positive slope when finish grade is more than 10 feet higher         | A mixture of native plants of graduated height and treatments as shown in Figure 12.66.220-B. The use of berms is optional.  |
| Negative slope when finish grade is up to 10 feet lower              | A mixture of native plants of reducing height and treatments and berms as shown in Figure 12.66.220-C.   |
| Negative slope when finish grade is more than 10 feet lower          | A mixture of native plants of reducing height and treatments as shown in Figure 12.66.220-C. The use of berms is optional. Alternatively, the developer may choose to utilize a green roof as described in Subsection 12.66.220.D.3. |

<sup>1</sup> Measured from the property line to edge of 50' foot Urban/Rural Edge Street Setback.

**Figure 12.66.220-B: Urban/Rural Edge Street Landscape Treatment for Positive Slopes**



**Figure 12.66.220-C: Urban/Rural Edge Street Landscape Treatment for Negative Slopes**



E. Waible Creek Greenspace Setback Landscape Design Standards. The setback required by Subsection 12.66.130.B for properties abutting the Waible Creek Greenspace shall be landscaped to the following standards:

1. Within the outermost 6 feet of the setback, landscaping shall be designed to provide screening of views of parking areas, vehicle maneuvering areas, utilitarian features described in Subsection 12.50.890.C, and building façades which do not meet the design standards in Section 12.66.840 from the future Crescent Park Greenway trail by the time of occupancy;
2. Within the remainder of the setback, a 20% tree and 80% shrub mixture shall be planted at a density of 2600 stems (bare root plantings) per acre, with trees planted 6' on center and shrubs 4' on center;
3. At least 75% of plants and seeds within the setback shall be selected from and in-stalled according to the planting requirements from Appendix A of the June 2007 CWS Design and Construction Standards-R&O 17-05; and
4. A seed mix that includes a mix of native herbaceous groundcover cover and grasses appropriate to the plant community and hydrologic zone of the site shall be seeded into the understory throughout the setback. (Ord. 6274 § 1, 2018)

### **12.66.230 Tree Preservation.**

The standards of Section 12.50.230 apply within the North Hillsboro Industrial Area Plan District except as modified below:

- A. Purpose. Increased requirements for on and off-site mitigation for the removal of mature and specimen trees supports the goals of improving the Waible Creek Tributary Riparian Corridor. Incentives for the

voluntary preservation of existing specimen trees further the goal of preserving and enhancing the unique natural resources and character of the area while supporting economic development.

B. Applicability. The applicability requirements of Subsection 12.50.230.B apply in the North Hillsboro Industrial Area Plan District.

C. Standards for Mature Tree Preservation. The standards of Subsection 12.50.230.C apply in the North Hillsboro Industrial Area Plan District except as modified below.

1. Where the Review Authority determines it is impracticable or unsafe to preserve mature trees, removal of the trees shall be mitigated at a ratio of 1 inch (dbh) planted for every 1 inch (dbh) removed. Mitigation shall be provided by 1 or more of the following alternatives, as determined by the Review Authority:

a. The trees shall be replaced in accordance with an approved landscape plan including new plantings of similar character at least 1 ½" in caliper, and no greater than 2 ½" in caliper. The Review Authority may allow the replacement trees to be planted off-site in a public open space, natural resource mitigation area, or park, with preference given to planting within the Waible Creek Tributary Riparian Corridor;

b. A fee in-lieu-of replacement may be paid by the developer to the City. The amount of the in-lieu-of payment shall be approximately equal to the market value of the replacement trees cited in Subsection a, above.

2. A credit toward the mitigation requirements of Subsection 12.66.230.C.1 may be granted by the Review Authority for preservation of mature and specimen trees on site, at a ratio of ½ inch (dbh) preserved for every 1 inch (dbh) removed, provided measures are also taken to preserve the health of the tree(s) to be preserved. If approved, the amount of credit for preservation of specimen trees shall not exceed 30% of the total mitigation requirement.

3. The Review Authority may modify the requirements of this Section in a manner which in its determination reasonably satisfies the Purpose Statement in subsection A above. Where a modification is approved, the Review Authority may impose the conditions in Subsection 12.50.230.C.3.

D. Standards for Specimen Tree Preservation. In addition to the standards in subsection C above, the standards of Subsection 12.50.230.D shall apply in the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

### **12.66.240 Exterior Lighting.**

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The standards of Section [12.50.240](#) apply in the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

### **12.66.250 Fences, Free-Standing Walls, Hedges and Berms.**

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The standards of Section [12.50.250](#) apply within the North Hillsboro Industrial Area Plan District except as modified below:

A. Purpose. Fences, walls, hedges and berms within the North Hillsboro Industrial Area Plan District should balance the need for security with the need to provide a consistent, cohesive, visually pleasing environment.

B. Applicability. The applicability requirements of Subsection 12.50.250.B apply in the North Hillsboro Industrial Area Plan District. In addition, within the North Hillsboro Industrial Area Plan District the standards of Sections [12.50.250](#) and [12.66.250](#) also apply to development applications in which fences, hedges, free-standing walls or berms are proposed or required as a condition of approval.

C. Fence Permit Required. The permit requirements of Subsection 12.50.250.C apply in the North Hillsboro Industrial Area Plan District.

D. Standards. The standards in Subsections 12.50.250.D and [12.50.250.E](#) apply in the North Hillsboro Industrial Area Plan District except as modified by subsections 1 through 4, below.

1. Materials.

- a. Fences and free-standing walls shall be constructed of durable materials compatible with the primary materials used on the associated building façade. Materials may include but are not limited to, the following:
    - i. Masonry or brick;
    - ii. Solid wood with masonry or brick columns;
    - iii. Wrought iron with masonry or brick columns; or
    - iv. Alternative material(s) as approved by the Review Authority.
  - b. Use of plastic, vinyl, barbed wire, razor wire, and electric fences, industrial materials and unprocessed waste materials are prohibited as fencing or free-standing wall materials.
  - c. The use of chain link shall be fully screened so as to be not visible from public rights-of-way.
  - d. All fences and free-standing walls shall be treated with anti-graffiti sealant.
2. **Berms**. On all frontages, berms shall be fully landscaped with a mixture of trees, shrubs and ground cover.
  3. **Design**. Fence designs shall contribute to overall appearance of development within the plan district through the use of high quality materials and design.
  4. **Retaining Walls**. Retaining walls over 30 inches in height shall either be:
    - a. Fully screened so as to be not visible from public rights-of-way or residential zones; or
    - b. A maximum height of 15 feet in height with landscaping at the base which screens and softens the appearance of the retaining wall. (Ord. 6274 § 1, 2018)

#### **12.66.260 Sight Distance / Vision Clearance.**

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The standards of Section [12.50.260](#) apply in the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

#### **12.66.300 Vehicle Parking.**

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Vehicle parking standards for the North Hillsboro Industrial Area Plan District include the following sections:

[12.66.310](#) Purpose, Applicability and Maintenance Responsibilities

[12.66.320](#) Number of Spaces Required

[12.66.330](#) Exempt Parking

[12.66.340](#) Credit for On-Street Parking

[12.66.350](#) Vehicle Parking and Loading: Location

[12.66.360](#) Vehicle Parking and Loading: Design and Improvements

(Ord. 6274 § 1, 2018)

#### **12.66.310 Purpose, Applicability and Maintenance Responsibilities.**

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The standards of Section [12.50.310](#) apply within the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

#### **12.66.320 Number of Spaces Required.**

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The standards of Section [12.50.320](#) apply within the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

#### **12.66.330 Exempt Parking.**

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The standards of Section [12.50.330](#) apply within the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

### **12.66.340 Credit for On-Street Parking.**

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The standards of Section [12.50.340](#) apply within the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

### **12.66.350 Vehicle Parking and Loading: Location.**

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In addition to the standards of Section [12.50.350](#), within the North Hillsboro Industrial Area Plan District the following standards shall apply.

- A. Electric Car Charging Stations. In parking lots with 100 vehicle spaces or more, at least 1 electric car charging point within a rated capacity of at least 240 volts shall be provided per 100 vehicle parking spaces or portion thereof.
- B. Off-Street Parking and Loading. Parking, loading, and vehicular circulation shall be located and configured to minimize its impact from street frontages. Surface parking or loading shall not be located between a front building plane (or a line extended there from) and the street unless 1 of the following 2 standards is met:
  1. The surface parking or loading is located within or behind the front plane of the building and is fully screened so as to be not visible from public rights-of-way by walls with decorative features such as grates, artwork, tiles, or similar elements. Windows are not required on walls surrounding service docks and loading areas; or
  2. Building setbacks are increased to 75 feet and a 20 foot landscape buffer is provided adjacent to the property line. Loading facilities, including maneuvering areas for loading docks and loading dock doors, shall be offset a minimum of 25 feet from driveway openings. The landscaped buffer shall be planted to the standards of Section [12.66.220](#), and shall include the following:
    - a. For parking and circulation areas, this landscaped buffer shall be provided to meet 1 or more of the following standards:
      - i. Planted with large-scale, high canopy, horizontally-branching tree species selected and planted to be compatible with trees and above- and below-ground utilities in the planter strips or in the public right-of-way. Individual trees shall be spaced between parking spaces to reduce damage from automobiles; and/or
      - ii. Planted with an evergreen hedge between 30 inches and 42 inches in height, with landscaping between the hedge and the sidewalk consistent with Section [12.66.220](#); and/or
      - iii. A decorative wall or fence 30 to 42 inches in height parallel to and at or beyond the landscape buffer line, with landscaping between the wall or fence and the sidewalk consistent with Section [12.66.220](#).
    - b. For loading facilities, or a combination of loading facilities and parking and circulation areas, this landscaped buffer shall be provided to meet 1 or more of the following standards:
      - i. A wall constructed of materials compatible with the primary materials used on the associated building façade, pursuant to Subsection 12.66.250.D, and at a height which substantially provides consistent screening from the highest loading dock. The wall shall be located at or beyond the landscape buffer line, with landscaping between the wall or fence and the sidewalk consistent with Section [12.66.220](#); and/or
      - ii. A solid vegetative screening reaching at least 8 feet tall within 2 years, with the plantings or wall combination extending the entire distance otherwise required for a solid wall as required in Paragraph 1, above. Landscaping shall be installed between the screen and the sidewalk consistent with Section [12.66.220](#). (Ord. 6274 § 1, 2018)

### **12.66.360 Vehicle Parking and Loading: Design and Improvements.**

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In addition to the standards of Section [12.50.360](#), within the North Hillsboro Industrial Area Plan District the following standards shall apply.

- A. Structured Parking.

1. Structured parking within or adjacent to a primary structure shall be reflective of the overall design of the primary structure it serves through the use of visually similar architectural features and façade materials.
2. Free-standing parking structures shall be designed to complement surrounding buildings in terms of scale, design elements, building materials, and orientation on the site. (Ord. 6274 § 1, 2018)

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#### **12.66.400 Bicycle Parking / Bicycle and Pedestrian Circulation and Connectivity.**

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Bicycle parking and bicycle and pedestrian circulation and connectivity in the North Hillsboro Industrial Area Plan District include the following sections:

[12.66.410](#) Bicycle Parking

[12.66.420](#) On-Site Pedestrian and Bicycle Circulation

[12.66.430](#) Off-Site Pedestrian and Bicycle Connectivity

[12.66.440](#) Connectivity and Design Standards at or near Minor Transit Stops

[12.66.450](#) Connectivity and Design Standards at or near Major Transit Stops

(Ord. 6274 § 1, 2018)

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#### **12.66.410 Bicycle Parking.**

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The standards of Section [12.50.410](#) apply within the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

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#### **12.66.420 On-Site Pedestrian and Bicycle Circulation.**

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The standards of Section [12.50.420](#) apply within the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

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#### **12.66.430 Off-Site Pedestrian and Bicycle Connectivity.**

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The standards of Section [12.50.430](#) apply within the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

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#### **12.66.440 Connectivity and Design Standards at or near Minor Transit Stops.**

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The standards of Section [12.50.440](#) apply within the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

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#### **12.66.450 Connectivity and Design Standards at or near Major Transit Stops.**

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The standards of Section [12.50.450](#) apply within the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

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#### **12.66.500 Access and Street Standards.**

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Access and street standards in the North Hillsboro Industrial Area Plan District include the following sections:

[12.66.510](#) Purpose, Applicability and Exceptions

[12.66.520](#) Street Connectivity and Access

[12.66.530](#) Streets and Alleys Design and Improvement

[12.66.540](#) Flag Lot Driveways: Design and Improvement

[12.66.550](#) Sidewalk Widths: Design and Location

[12.66.560](#) Street Trees and Landscaping

(Ord. 6274 § 1, 2018)

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**12.66.510 Purpose, Applicability and Exceptions.**

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The standards of Section [12.50.510](#) apply within the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

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**12.66.520 Street Connectivity and Access.**

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The standards of Section [12.50.520](#) apply within the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

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**12.66.530 Streets and Alleys: Design and Improvement.**

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The standards of Section [12.50.530](#) apply within the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

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**12.66.540 Flag Lot Driveways: Design and Improvement.**

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The standards of Section [12.50.540](#) apply within the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

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**12.66.550 Sidewalk Widths: Design and Location.**

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The standards of Section [12.50.550](#) apply within the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

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**12.66.560 Street Trees and Landscaping.**

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The standards of Section [12.50.560](#) apply within the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

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**12.66.600 Public Utilities, Site Grading and Storm Water Facilities Site Integration.**

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Utilities, site grading, and storm water management standards for the North Hillsboro Industrial Area Plan District include the following sections:

[12.66.610](#) Purpose, Applicability and Exceptions

[12.66.620](#) Public Utilities General Requirements

[12.66.630](#) Site Grading

[12.66.640](#) Storm Water Facilities Site Integration

(Ord. 6274 § 1, 2018)

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**12.66.610 Purpose, Applicability and Exceptions.**

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The standards of Section [12.50.610](#) apply within the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

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**12.66.620 Public Utilities General Requirements.**

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The standards of Section [12.50.620](#) apply within the North Hillsboro Industrial Area Plan District. Public Utility Easement and vault locations shall be subject to review and approval by the City Engineer and the utility provider. (Ord. 6274 § 1, 2018)

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**12.66.630 Site Grading.**

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The standards of Section [12.50.630](#) apply within the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

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**12.66.640 Storm Water Facilities Site Integration.**

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The standards of Section [12.50.640](#) apply within the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

**12.66.700 Design Standards for Residential Development.**

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Design standards for residential development are not applicable. (Ord. 6274 § 1, 2018)

**12.66.800 Design Standards for Non-Residential and Mixed-Use Development.**

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Design standards for non-residential and Mixed-Use development include the following sections:

- [12.66.810 Purpose and Applicability](#)
- [12.66.820 Main Entries](#)
- [12.66.830 Required Windows](#)
- [12.66.840 Articulation and Detailed Design](#)
- [12.66.845 Step-Back Requirements](#)
- [12.66.850 Improvements and Activities between Streets and Buildings](#)
- [12.66.860 Waste and Recycling Facilities](#)
- [12.66.870 Sidewalk Dining and Displays in Light Rail Zones](#)
- [12.66.875 Drive Through Facilities in Light Rail Zones](#)
- [12.66.880 Outdoor Storage](#)
- [12.66.890 Utilitarian Functions](#)

(Ord. 6274 § 1, 2018)

**12.66.810 Purpose and Applicability.**

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- A. Purpose. These standards are intended to ensure that industrial and commercial developments are designed to be consistent with the policies in the North Hillsboro Industrial Area Community Plan.
- B. Applicability. Within the North Hillsboro Industrial Area Plan District, the design standards for non-residential and mixed-use development in Sections [12.50.800](#) through [12.50.890](#) shall apply except as modified or superseded by the standards in this Section. (Ord. 6274 § 1, 2018)

**12.66.820 Main Entries.**

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The standards of Section [12.50.820](#) apply within the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

**12.66.830 Required Windows.**

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The standards of this Section supersede Section [12.50.830](#) and shall apply within the North Hillsboro Industrial Area Plan District.

- A. Applicability. The standards in Section [12.66.830](#) shall apply to any façade which is visible from the public right-of-way (i.e., not screened).
- B. Standards for Development.
  - 1. All buildings shall have display windows or windows with views into the building interior. Such windows shall occupy the percentages of the exterior wall area of the façade that is visible from the public right-of-way as shown on Table 12.66.830-1. Windows in entry doors also meet this standard.
  - 2. Required windows shall not be darkly tinted or mirrored.

**Table 12.66.830-1:  
Percentage of Windows Required on the Façade**

| Façade | Minimum Percentage of Windows |
|--------|-------------------------------|
|--------|-------------------------------|



|   |  |
|---|--|
| Façade abutting a front yard setback reduced pursuant to Subsection 12.66.130.D.1   | 20% of the façade visible from the ROW |
| Façade abutting a front yard setback exchanged pursuant to Subsection 12.66.130.D.2 | 15% of the façade visible from the ROW |
| All other façades which are visible from the public right-of-way                    | 10% of the façade visible from the ROW |

(Ord. 6274 § 1, 2018)

### 12.66.840 Articulation and Detailed Design.

The standards of this Section supersede Section [12.50.840](#) and shall apply within the North Hillsboro Industrial Area Plan District.

- A. Applicability. The standards in Section [12.66.840](#) shall apply to any façade which is visible from the public right-of-way (i.e., not screened).
- B. Façade Variation. Façades shall incorporate design features in order to avoid a flat and monolithic appearance. Design features include offsets, balconies, projections, or other similar elements to preclude large expanses of uninterrupted building surfaces in areas which are visible to the public. Window or entry cutouts on an otherwise flat façade do not meet this standard.
  1. All buildings shall have design features occupying the exterior wall area of the façade that is visible from the public right-of-way as shown on Table 12.66.840-1.

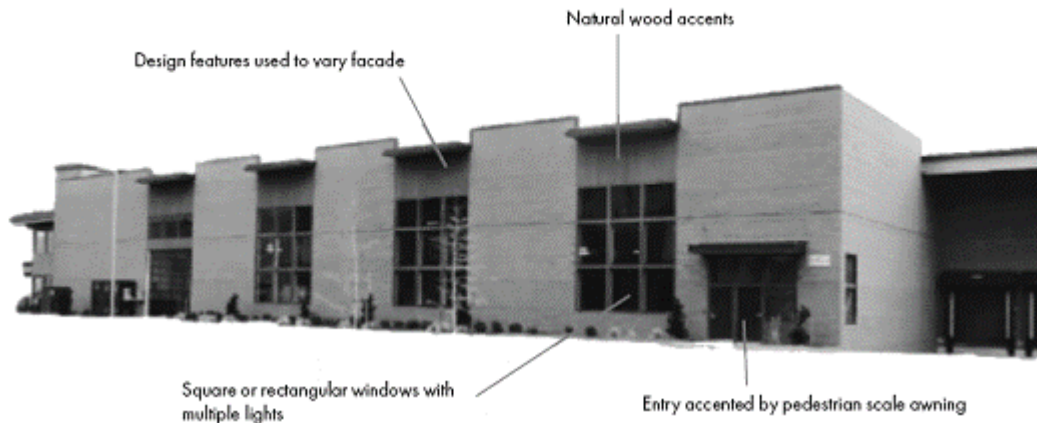
**Table 12.66.840-1:**

**Number and Spacing of Design Features Required on the Façade**

| Façade   | Minimum Number of Features from 12.66.840.B.2 | Maximum Spacing of Features |
|--|---|-----------------------------|
| Façade abutting a front yard setback reduced pursuant to Section 12.66.130.D.1   | 3   | Every 60 feet               |
| Façade abutting a front yard setback exchanged pursuant to Section 12.66.130.D.2 | 2   | Every 60 feet               |
| All other façades which are visible from the public right-of-way                 | 2   | Every 60 feet               |

2. Façades shall incorporate one or more of the following design features, at the number and spacing requirements listed in Table 12.66.840-1:
  - a. Windows, as required by Section [12.66.830](#);
  - b. Recesses (e.g., deck, patio, courtyard, entrance or similar feature) that have a minimum depth of 6 feet and run horizontally for a minimum length of 6 feet;
  - c. Extensions (e.g., floor area, deck, patio, entrance, or similar feature) that project a minimum depth of 2 feet and run horizontally for a minimum length of 6 feet;
  - d. Horizontal articulation establishing a defined base, middle and top (e.g., cornices, belt courses);
  - e. Vertical articulation in the form of offsets or bays with a minimum depth of 1 foot;
  - f. Offsets or breaks in roof elevation of 2 feet or greater in height;
  - g. Natural wood, weathering steel trim/accents with a minimum dimension of 4 feet by 6 feet; or
  - h. Other similar façade variations approved by the Review Authority.
3. In order to avoid façade variations that are out of scale with the building, on buildings that are less than 3,000 square feet, the minimum dimensions (e.g., depth and width) of the features described in a – g, above, may be reduced by up to 50%.

**Figure 12.66.840-A:  
Example of Façade Articulation and Materials**



C. Exterior Building Materials. Building façades and roofs shall be constructed using high quality and long-lasting exterior building materials. A “primary material” is the predominant building material(s) that covers a majority of the building’s exterior walls. An “accent material” is not the predominant building material, but accent materials should cover at least twenty (20) percent of the building’s exterior walls. Any one accent material shall not cover more than forty (40) percent of the building’s façade. Permitted materials are as follows:

1. Brick, natural stone (e.g. basalt), split- and ground-faced concrete masonry units, tilt-up concrete (concrete form liner w/color-integral or stain) or a combination of these materials may be used as primary or accent materials.
2. Glass (other than smoked glass) may be used as primary or accent material.
3. Wood may be used for soffits, overhangs, entrance canopies and as an accent material.
4. Metal (e.g., weathering steel) may be used as a primary or accent material.
5. Other similar materials that are approved by the Review Authority may be used as primary or accent materials. (Ord. 6274 § 1, 2018)

#### **12.66.845 Step-Back Requirements.**

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The standards of Section [12.50.845](#) do not apply within the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

#### **12.66.850 Improvements and Activities between Streets and Buildings.**

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The standards of Section [12.50.850](#) apply within the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

#### **12.66.860 Waste and Recycling Facilities.**

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The standards of Section [12.50.860](#) apply within the North Hillsboro Industrial Area Plan District except that the Review Authority may approve a reduction to the required minimum waste enclosure size of 50 square feet plus 6 square feet per 1,000 sq. ft. GFA for industrial developments over 50,000 sq. ft. GFA in size with approval from the applicable waste and recycling service provider and City of Hillsboro Sustainability Program Manager. (Ord. 6274 § 1, 2018)

#### **12.66.870 Sidewalk Dining and Displays in Light Rail Zones.**

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The standards of Section [12.50.870](#) do not apply within the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

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### **12.66.875 Drive Through Facilities in Light Rail Zones.**

The standards of Section [12.50.875](#) do not apply within the North Hillsboro Industrial Area Plan District. (Ord. 6274 § 1, 2018)

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### **12.66.880 Outdoor Storage.**

The standards of this Section supersede Section [12.50.880](#) and shall apply within the North Hillsboro Industrial Area Plan District.

- A. Outdoor Storage of Inventory or Equipment. Outdoor storage of inventory or equipment may be located between a front building plane (or a line extended there from) and the street if the following standards are met:
1. The Planning Director finds that there is no other practicable location for the storage on-site;
  2. The storage area is surrounded by dense screening material or landscaping, compliant with paragraph c below, which completely obscures visibility from the public right-of-way; and
  3. Any screening material is constructed of decorative or architectural materials consistent with the materials in the primary structure. Chain link fences, plain concrete walls or wooden fences are not considered to meet this standard; and
  4. The outdoor storage area is set back a minimum of 75 feet from the front property line. (Ord. 6274 § 1, 2018)

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### **12.66.890 Utilitarian Functions.**

The standards of Section [12.50.890](#) apply within the North Hillsboro Industrial Area Plan District except as modified below.

- A. Applicability. The standards in B shall apply to any façade facing, adjacent to, and visible from a public street.
- B. Standards. Loading docks may be located on the street-side façade pursuant to Subsection 12.66.350.B. (Ord. 6294 § 1, 2019; Ord. 6274 § 1, 2018)

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