

Fences and Retaining Walls

Quick Reference Guide

Planning Division
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541-388-5570 option 3



COMMUNITY
DEVELOPMENT

Standards exist for fences and walls to promote security, personal safety, and privacy. The standards in this guide are for fences and retaining walls that are on properties developed with single-family dwellings within the Residential Districts and include regulations on height, types of materials and layout.

See [Bend Development Code \(BDC\) 3.2.500](#) at bend.municipal.codes for detailed requirements.

Eligibility

- Fences and retaining walls are permitted on any property within the Residential District. This handout has been developed to assist residents of **single-family dwellings** in Residential Districts. For other uses, please consult [BDC 3.2.500](#) for detailed requirements.
- Special standards apply to fences on properties that are Historic Resources or are located in the Historic Districts ([Bend Code 10.20](#)), Waterway Overlay Zone (WOZ) ([BDC 2.7.600](#)), Lava Ridge Refinement Plan area ([BDC 2.7.200](#)) and Murphy Crossing Refinement Plan area ([BDC 2.7.800](#)).
- Please check your HOA regulations or CC&Rs, as private restrictions may be stricter than those of the City. The City does not monitor nor enforce private restrictions.

Layout Schematic

The following schematic (Figure 1) illustrates requirements for fences and walls on a property. Key elements include maximum fence/wall height, front setback distance, and clear vision area. Please note: all measurements are taken from the property line, which is not necessarily the edge of the street surface.

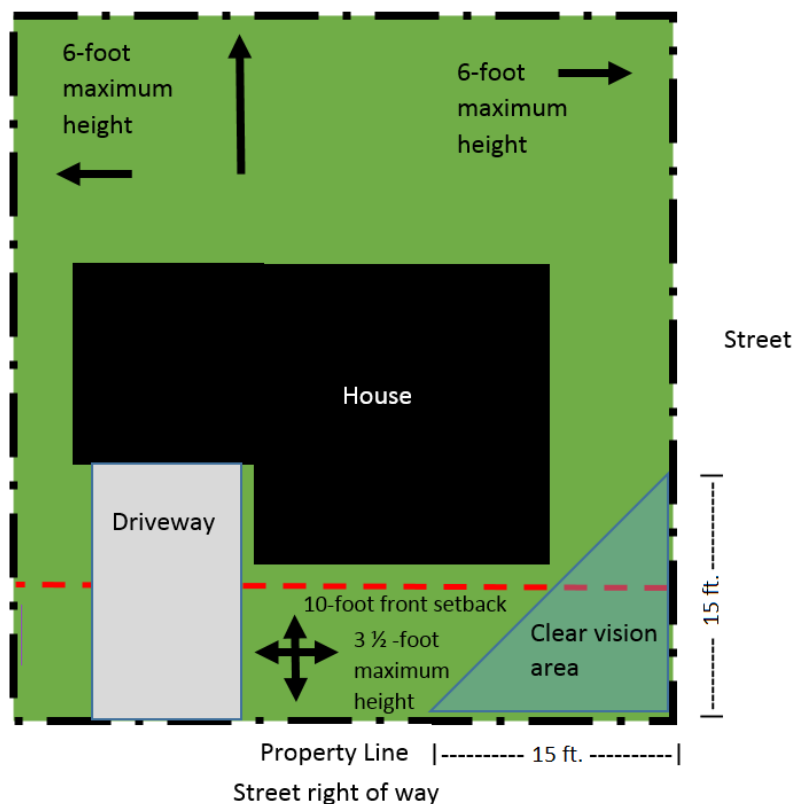
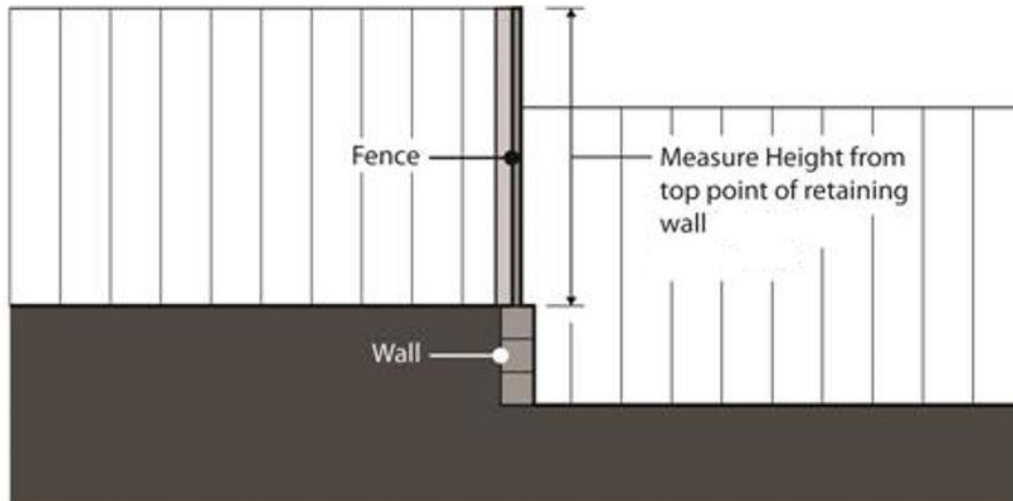


Figure 1: Example of a corner lot layout

Height Limits

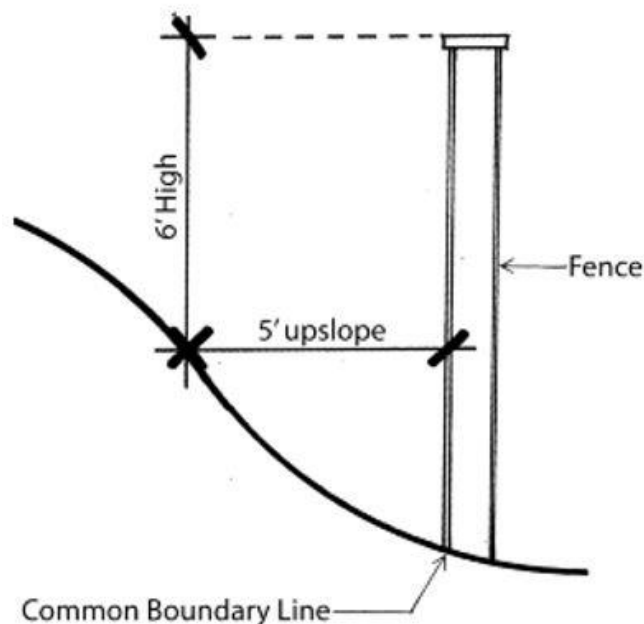
Height: must be measured from the lowest grade at the base of the fence or retaining wall unless stated otherwise. Posts, trellises, lattice and any other material placed on top of the fence is considered to be part of the fence when measuring the overall height. As illustrated in the Figure 2 below, when a fence is placed atop a retaining wall, the height of the fence is determined exclusive of the height of the retaining wall such that the top of the retaining wall is considered the finished grade.



Maximum height:	6 feet
If located within front setback:	3 feet 6 inches

Corner lots, as depicted in Figure 1, are subject to the 3-1/2-foot height requirement only on the front setback (i.e. along the street to which the house address is assigned). The fence or wall along the non-front side must not exceed 6 feet.

If there is a grade difference between two sites which would make a six-foot-high fence inadequate to provide for privacy, such fence must be no higher than six feet above the highest grade within five feet of the common boundary line, as illustrated in Figure 3 below.



Setbacks and Layouts

Setback: For 6-foot-tall fences and walls between the front of the house and the adjacent street, a 10 foot setback is required. This is to be measured from the property line, not the street curb or edge of pavement.

Clear Vision standards: Fences and retaining walls on corner lot properties must comply with Clear Vision standards ([BDC 3.1.500](#)) to ensure that the line of sights for motorists, pedestrians, and bicyclists are not obstructed. Clear vision applies to both street and alley intersections.

Additional Information

Height Exception: Retaining and terraced walls may exceed 6 feet only when permitted as part of a Site Plan Review or land division approval.

Fence Materials and Colors: Acceptable materials include wood, vinyl, metal, masonry or other material that is able to be painted and/or maintained in structurally sound condition. The City does not regulate color.

Required Review Process

Fences and walls generally do not require building permits, with the following exceptions:

- Planning Division review may be required for fences on properties that are Historic Resources or located in the Historic Districts or Waterway Overlay Zone (WOZ).
- A building permit and/or approved engineering plans may be required if the retaining wall is greater than four feet in height or is less than four feet in height and supports a surcharge.

Unsure about what permits may be required?
Want to obtain a fee estimate for permits?
Questions about how to file an application?

Contact the Planning Division at:
541-388-5570, menu option 3
planning@bendoregon.gov