



ENGINEERING

**SEPTIC TO SEWER CONVERSION
PROGRAM
*2020 COMMITTEE MEETING***

SCORING CRITERIA



COST

Cost of the sewer extension project, including design



PERCENT SIGNED

The percentage of property owners who would be served by the neighborhood sewer extension project who signed onto the application



NUMBER OF HOMES BENEFITTED

Total number of homes or properties to be connected to the public sewer system from the project



AGE & STATUS OF SEPTIC SYSTEMS

The age of existing septic systems that would be replaced by the proposed neighborhood sewer extension project and evidence of failing septic systems



PROXIMITY TO CITY PROJECTS

Whether other City construction projects are planned for the street identified in the application



OTHER FACTORS

Other factors established by the City Manager.

2020 NEIGHBORHOOD EXTENSION APPLICATIONS

The City received ten Neighborhood Extension Project applications in 2020. The location of each application is shown in Figure 1 below. Note that Via Sandia was previously selected for design and construction by committee on February 26, 2019.

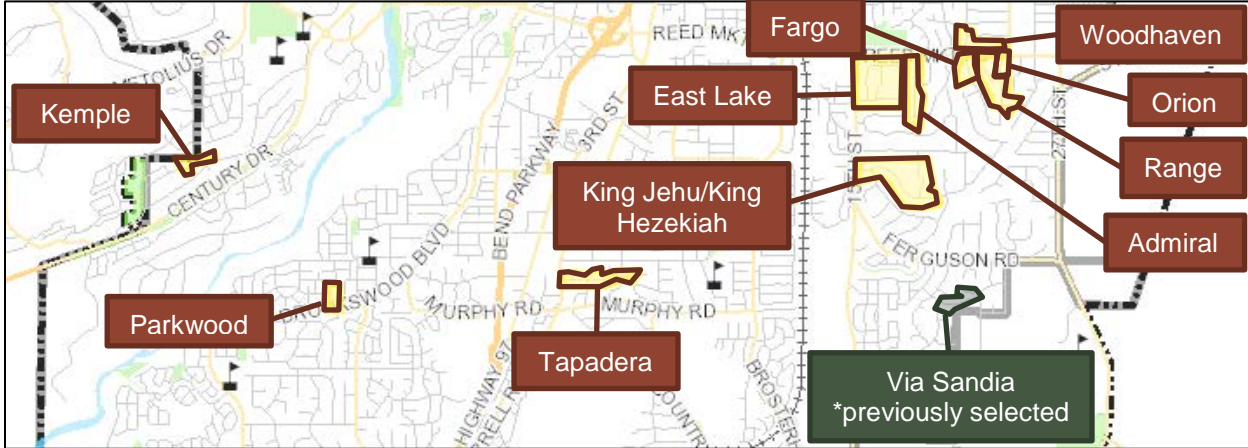


Figure 1: Location of 2020 Neighborhood Extension Projects

Maps of the individual application areas are provided on the following pages.

NEIGHBORHOOD EXTENSION PROJECTS

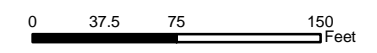
Via Sandia Neighborhood

NEP Taxlots

- Not Signed
- Signed

Streets

- Local Street
- Proposed Sanitary Pipe
- Active Gravity Main
- Gravity Manhole
- Urban Growth Boundary
- City Limits

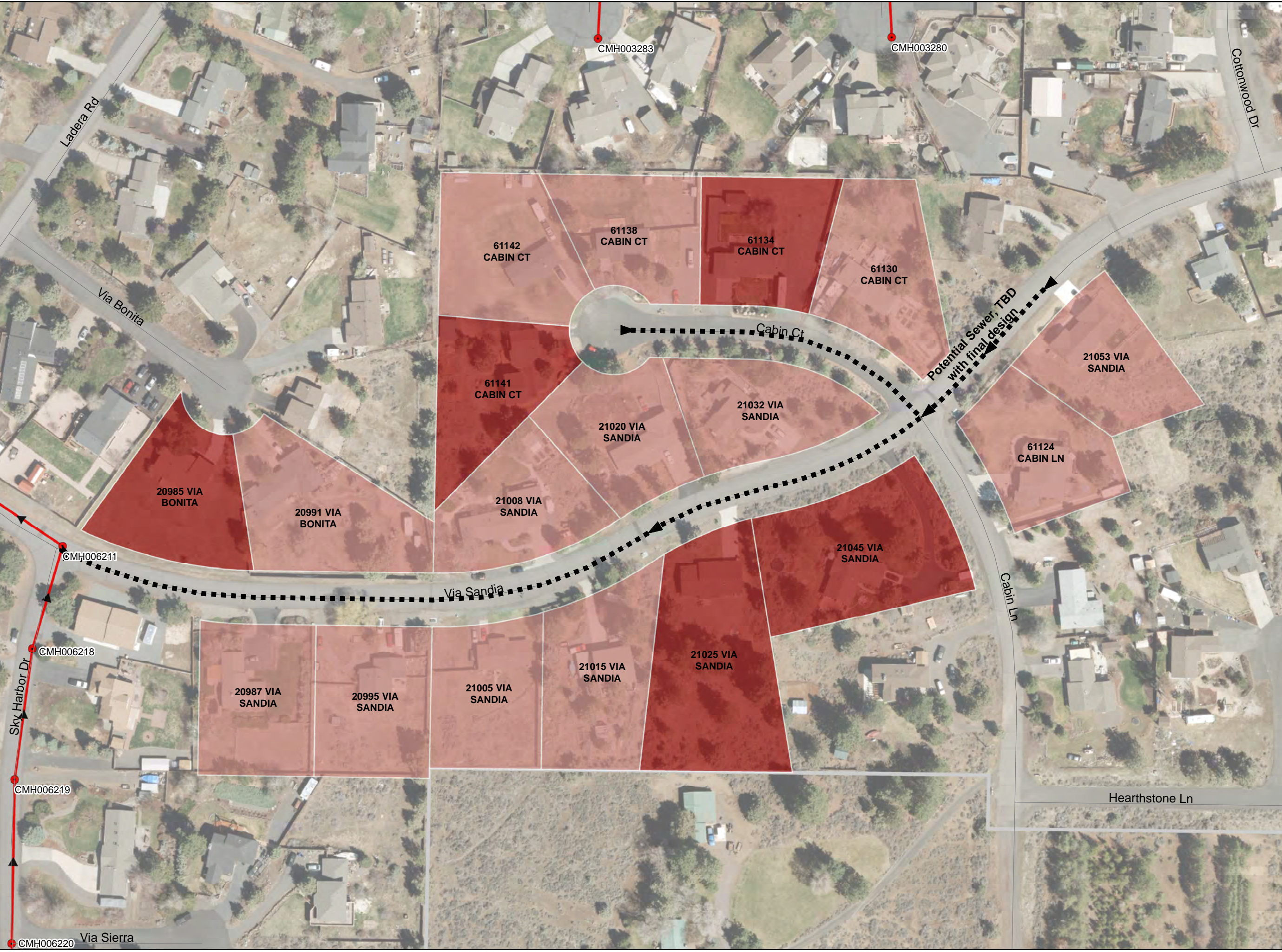


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NEIGHBORHOOD EXTENSION PROJECTS

Kemple Drive Neighborhood

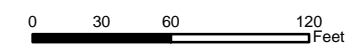


NEP Taxlots

- Not Signed
- Signed

Streets

- Arterial
- Local Street
- Proposed Sanitary Pipe
- Active Gravity Main
- Gravity Manhole
- Urban Growth Boundary
- City Limits



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NEIGHBORHOOD EXTENSION PROJECTS

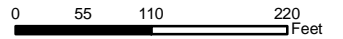
Tapadera Neighborhood

NEP Taxlots

- Not Signed
- Signed

Streets

- Collector
- Local Street
- Proposed Sanitary Pipe
- Pressurized Main
- Force Main
- Active Gravity Main
- GravityManhole
- CleanOutManhole
- PressureManhole
- Urban Growth Boundary
- City Limits

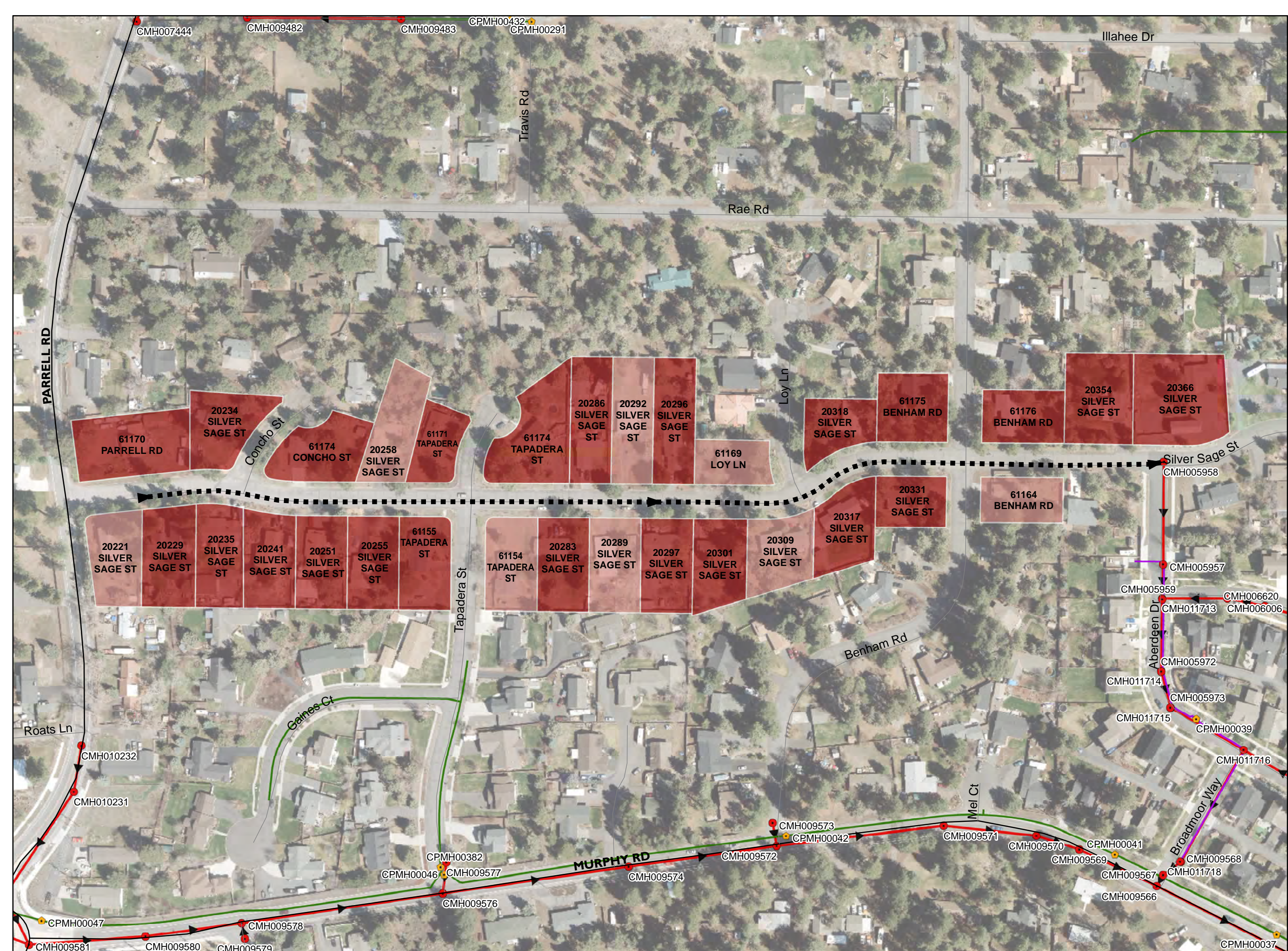


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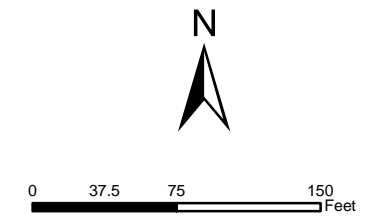
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NEIGHBORHOOD EXTENSION PROJECTS

Woodhaven Neighborhood

- NEP Taxlots**
- Not Signed
 - Signed
- Streets**
- Arterial
 - Collector
 - Local Street
 - Proposed Sanitary Pipe
 - Force Main
 - Active Gravity Main
 - GravityManhole
 - PressureManhole
 - Urban Growth Boundary
 - City Limits

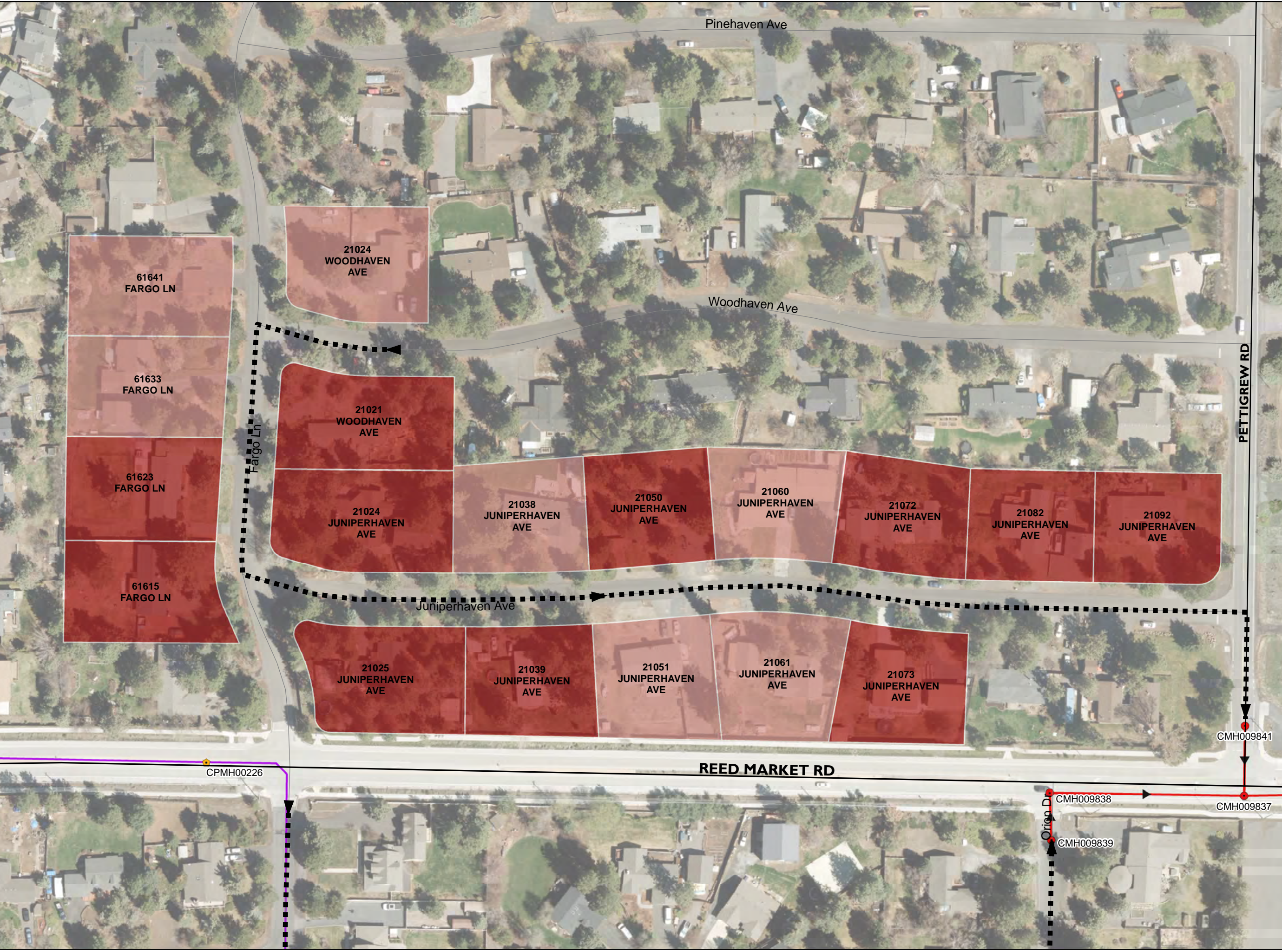


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NEIGHBORHOOD EXTENSION PROJECTS

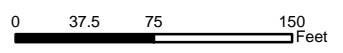
Parkwood Neighborhood

NEP Taxlots

- Not Signed
- Signed

Streets

- Arterial
- Collector
- Local Street
- Proposed Sanitary Pipe
- Pressurized Main
- Active Gravity Main
- GravityManhole
- PressureManhole
- Urban Growth Boundary
- City Limits

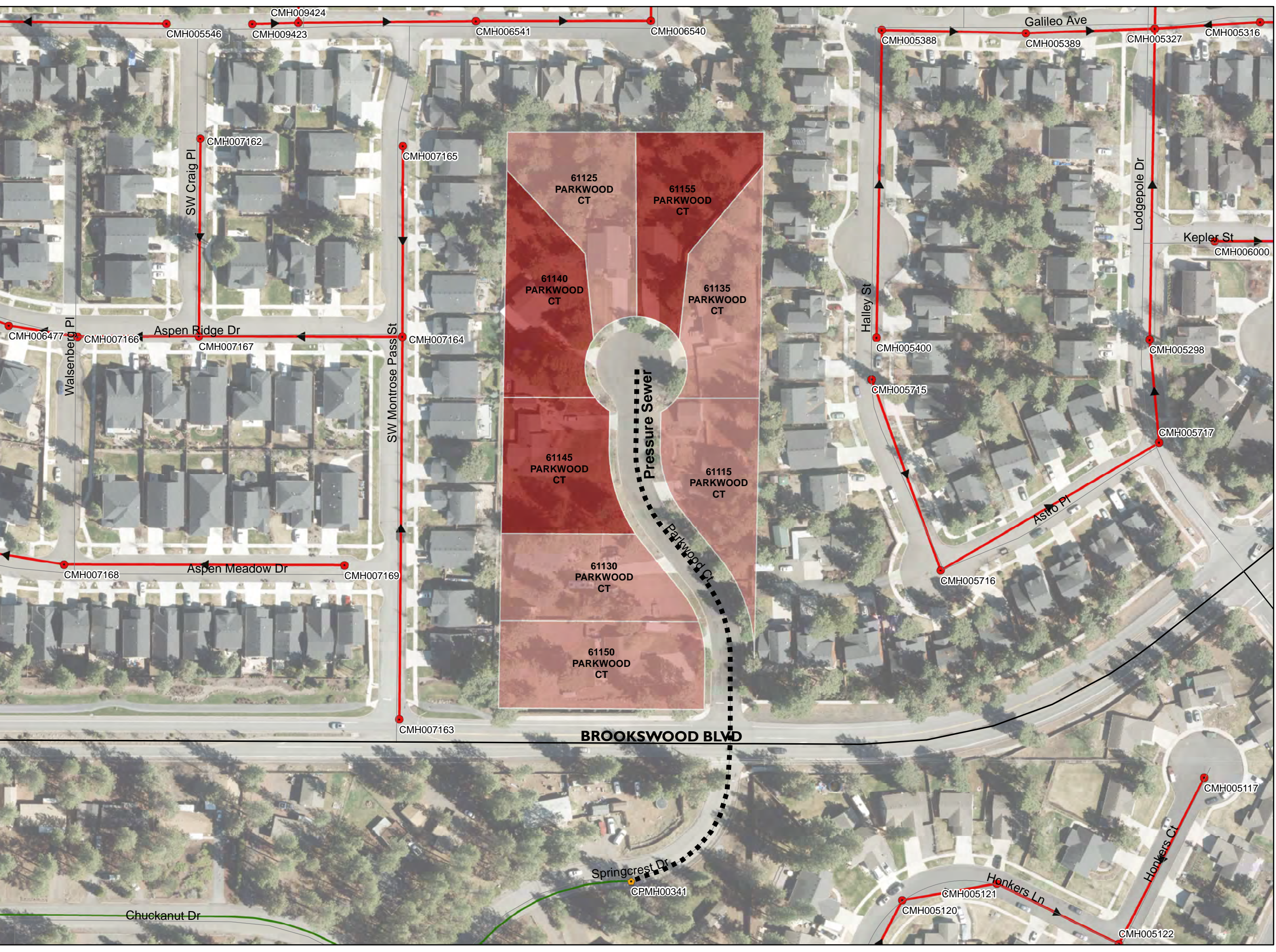


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NEIGHBORHOOD EXTENSION PROJECTS

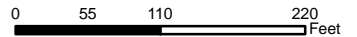
East Lake Neighborhood

NEP Taxlots

- Not Signed
- Signed

Streets

- Arterial
- Local Street
- Potential Subproject
- Proposed Sanitary Pipe
- Pressurized Main
- Force Main
- Active Gravity Main
- Proposed Gravity Main
- GravityManhole
- PressureManhole
- Urban Growth Boundary
- City Limits

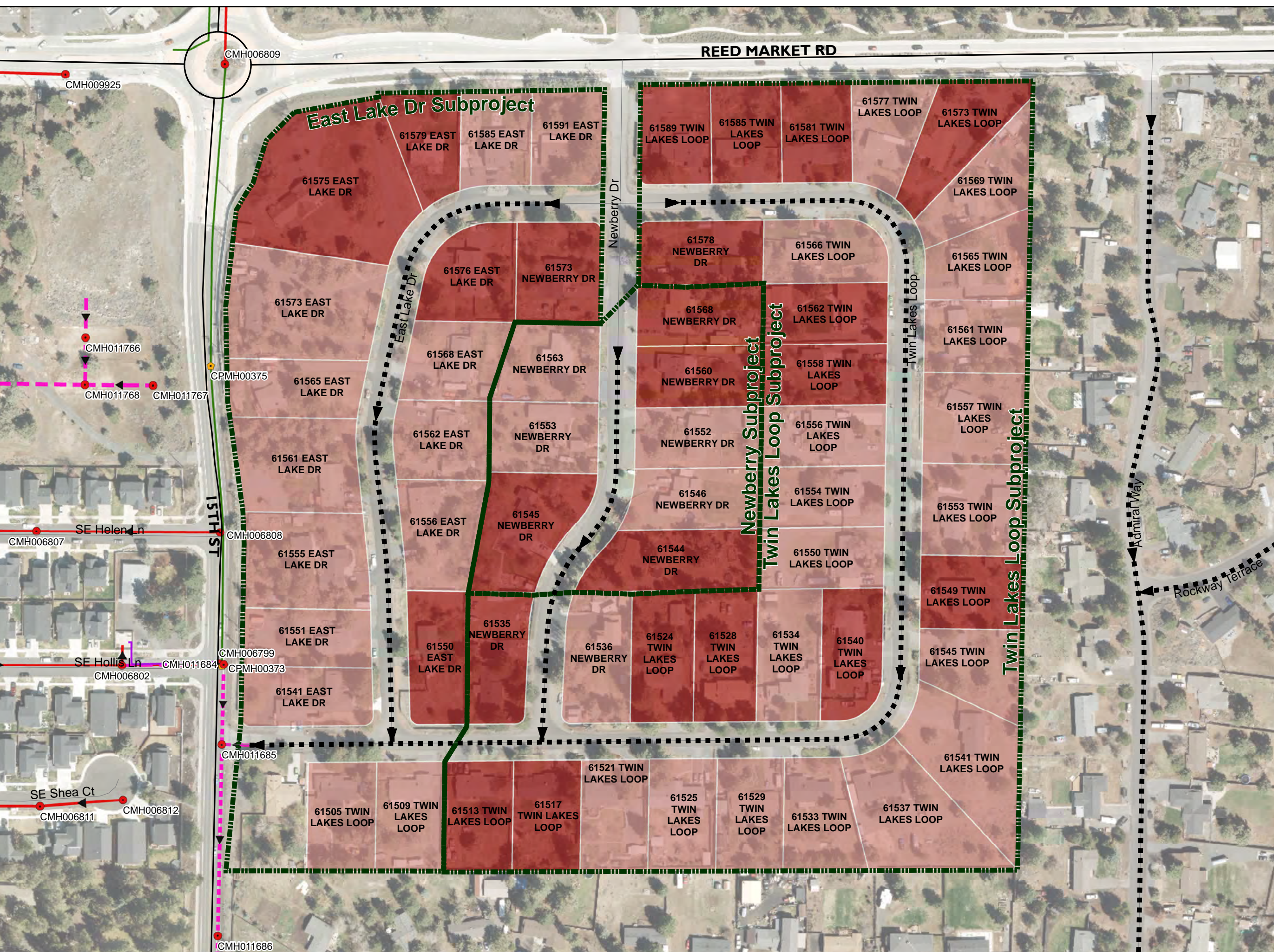


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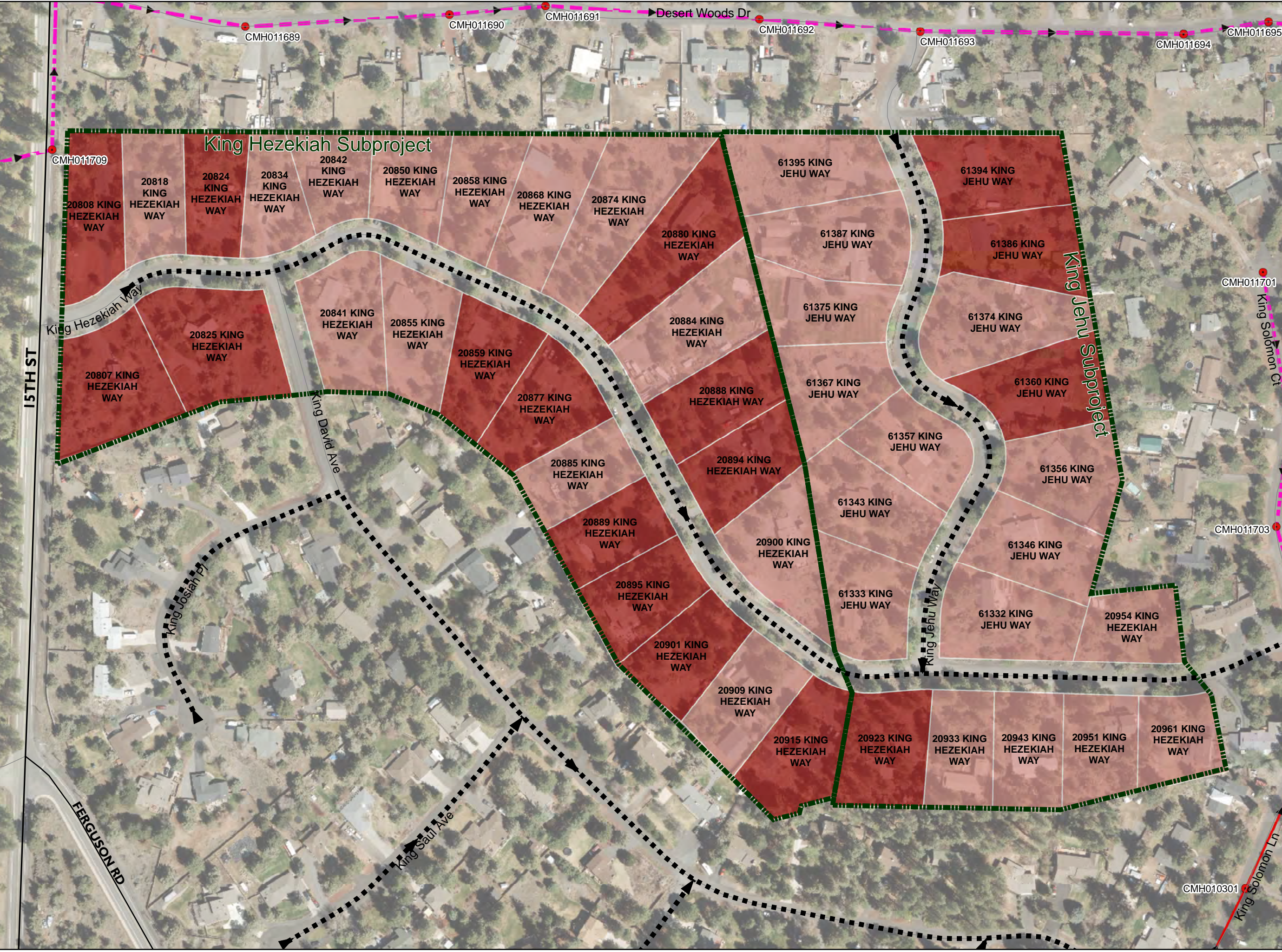
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NEIGHBORHOOD EXTENSION PROJECTS

King Jehu Hezekiah Neighborhood

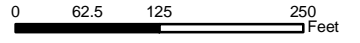


NEP Taxlots

- Not Signed
- Signed

Streets

- Arterial
- Collector
- Local Street
- Potential Subproject
- Proposed Sanitary Pipe
- Active Gravity Main
- Proposed Gravity Main
- Gravity Manhole
- Urban Growth Boundary
- City Limits



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NEIGHBORHOOD EXTENSION PROJECTS

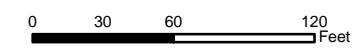
Fargo Lane Neighborhood

NEP Taxlots

- Not Signed
- Signed

Streets

- Arterial
- Local Street
- Proposed Sanitary Pipe
- Force Main
- Active Gravity Main
- GravityManhole
- PressureManhole
- Urban Growth Boundary
- City Limits

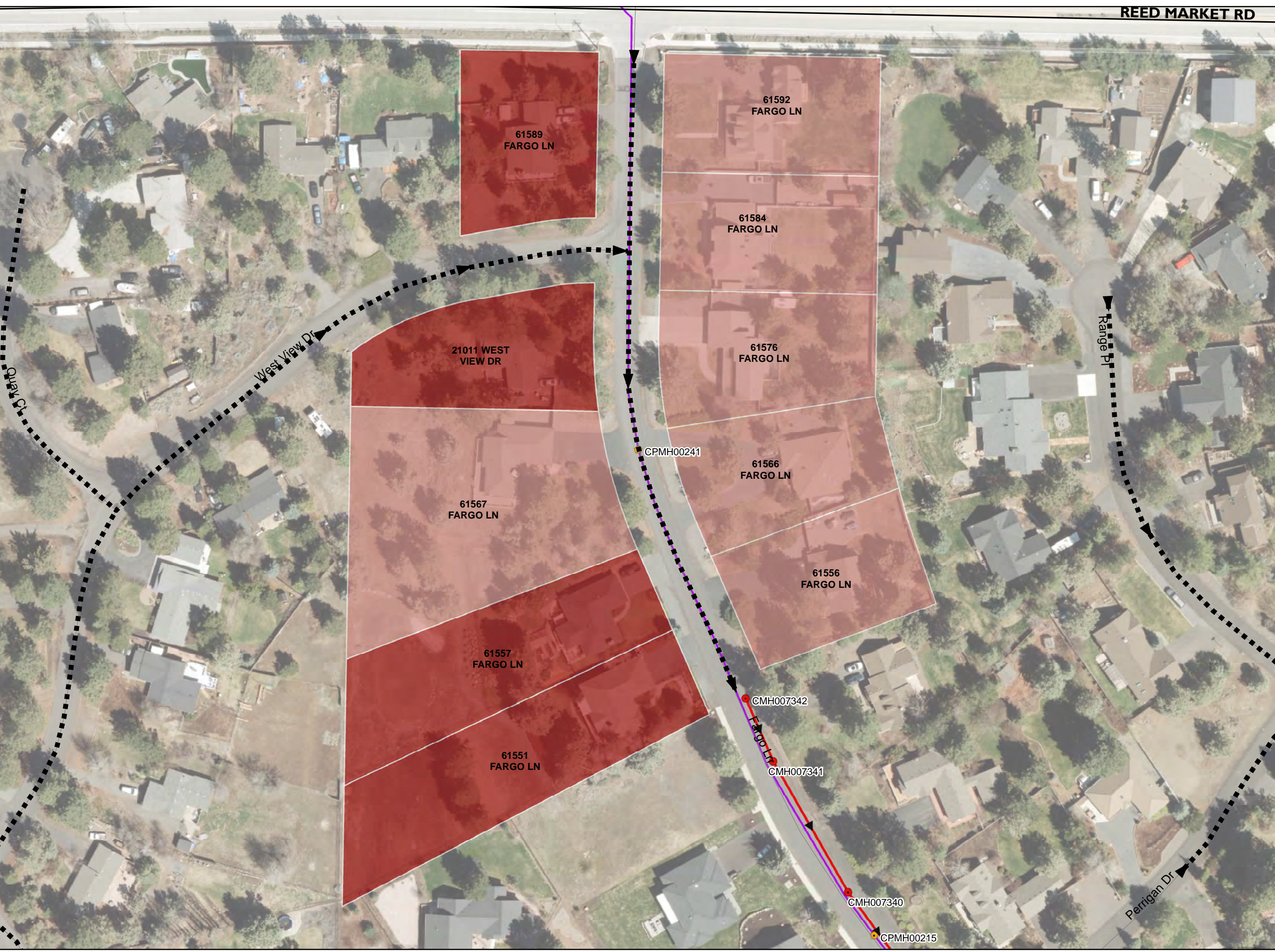


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61589
FARGO LN

61592
FARGO LN

61584
FARGO LN

61576
FARGO LN

61566
FARGO LN

61556
FARGO LN

21011 WEST
VIEW DR

61567
FARGO LN

61557
FARGO LN

61551
FARGO LN

CPMH00241

CMH007342

CMH007341

CMH007340

CPMH00215

Quinn Ct

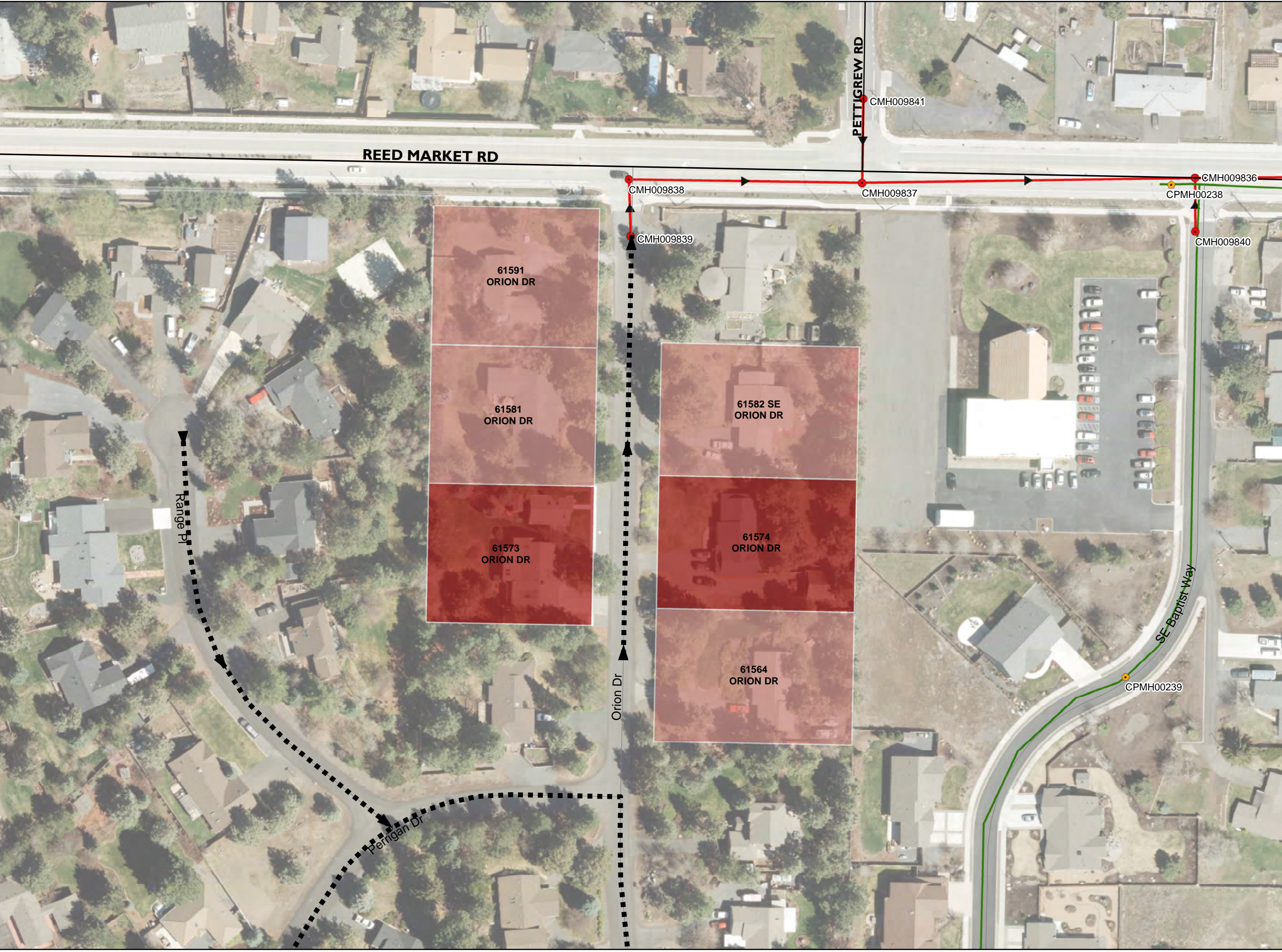
West View Dr

Range Pl

Perrigan Dr

NEIGHBORHOOD EXTENSION PROJECTS

Orion Neighborhood

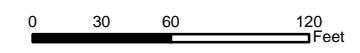


NEP Taxlots

- Not Signed
- Signed

Streets

- Arterial
- Collector
- Local Street
- Proposed Sanitary Pipe
- Pressurized Main
- Active Gravity Main
- GravityManhole
- PressureManhole
- Urban Growth Boundary
- City Limits



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NEIGHBORHOOD EXTENSION PROJECTS

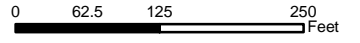
Range Place Neighborhood

NEP Taxlots

- Not Signed
- Signed

Streets

- Arterial
- Collector
- Local Street
- Proposed Sanitary Pipe
- Pressurized Main
- Force Main
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- Proposed Gravity Main
- GravityManhole
- PressureManhole
- Urban Growth Boundary
- City Limits

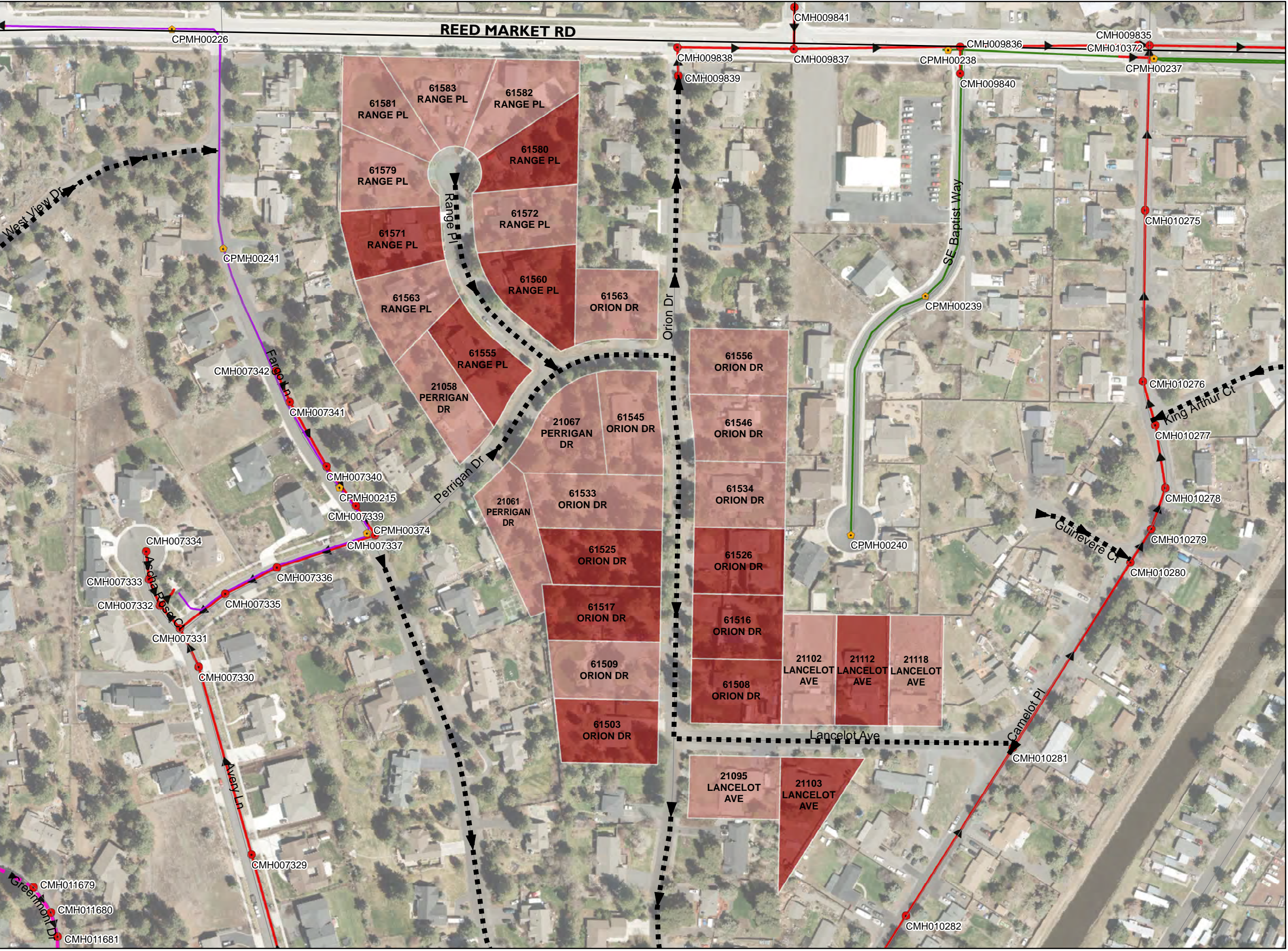


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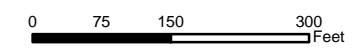
Admiral Neighborhood

NEP Taxlots

- Not Signed
- Signed

Streets

- Arterial
- Local Street
- Proposed Sanitary Pipe
- Force Main
- Active Gravity Main
- Proposed Gravity Main
- GravityManhole
- PressureManhole
- Urban Growth Boundary
- City Limits

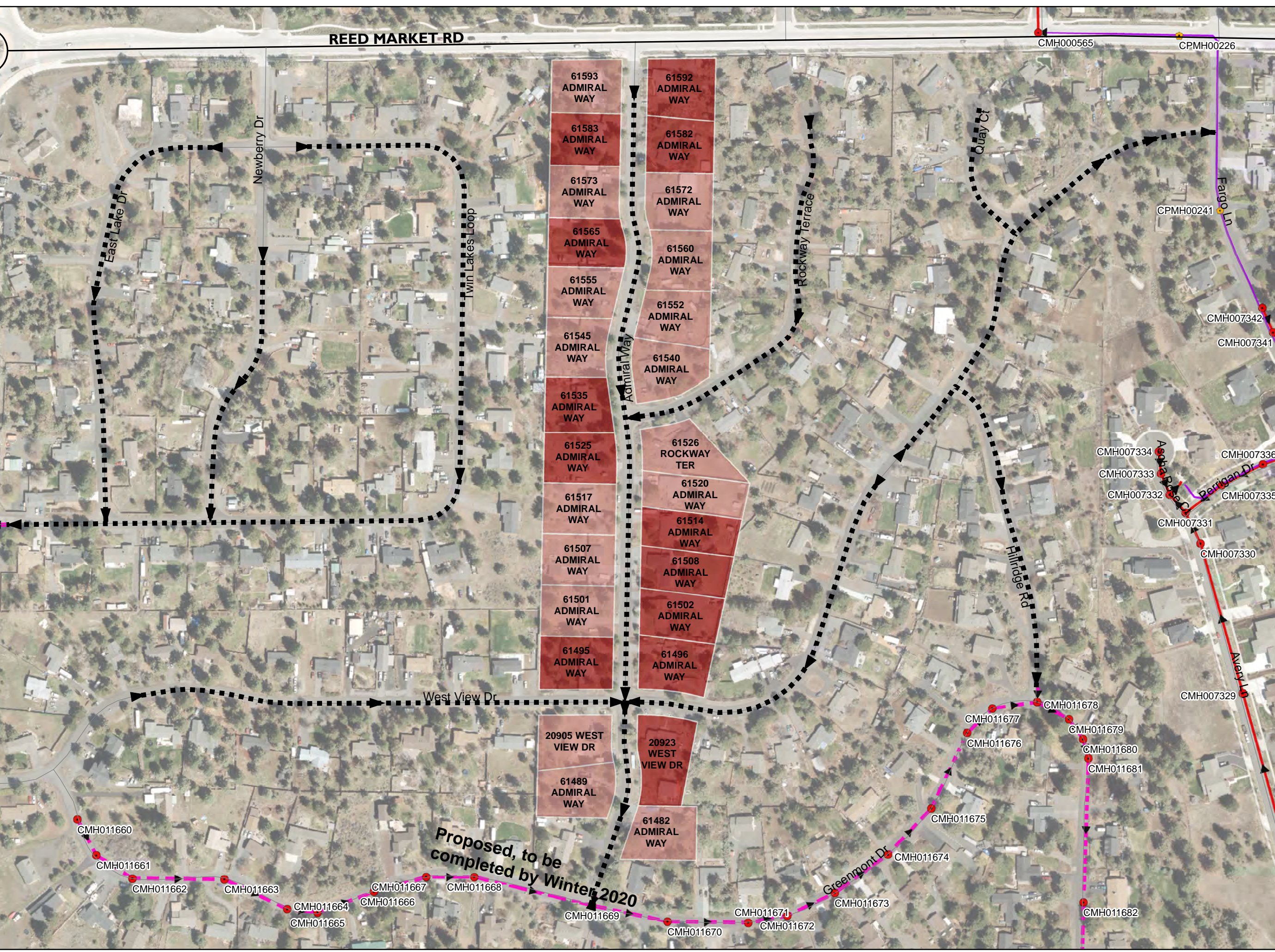


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REED MARKET RD

CMH000565

CPMH00226

Newberry Dr

East Lake Dr

Twin Lakes Loop

61593 ADMIRAL WAY

61592 ADMIRAL WAY

61583 ADMIRAL WAY

61582 ADMIRAL WAY

61573 ADMIRAL WAY

61572 ADMIRAL WAY

61565 ADMIRAL WAY

61560 ADMIRAL WAY

61555 ADMIRAL WAY

61552 ADMIRAL WAY

61545 ADMIRAL WAY

61540 ADMIRAL WAY

61535 ADMIRAL WAY

Admiral Way

61525 ADMIRAL WAY

61526 ROCKWAY TER

61517 ADMIRAL WAY

61520 ADMIRAL WAY

61507 ADMIRAL WAY

61514 ADMIRAL WAY

61501 ADMIRAL WAY

61508 ADMIRAL WAY

61495 ADMIRAL WAY

61502 ADMIRAL WAY

61496 ADMIRAL WAY

West View Dr

20905 WEST VIEW DR

20923 WEST VIEW DR

61489 ADMIRAL WAY

61482 ADMIRAL WAY

CMH011677

CMH011678

CMH011676

CMH011679

CMH011680

CMH011681

CMH011660

CMH011661

CMH011662

CMH011663

CMH011664

CMH011666

CMH011668

CMH011665

CMH011669

CMH011670

CMH011671

CMH011672

CMH011673

CMH011675

CMH011674

Greenmont Dr

CMH007334

CMH007333

CMH007332

CMH007331

CMH007330

CMH007329

CPMH00241

CMH007342

CMH007341

CMH007336

CMH007335

CMH007331

CMH007330

Proposed, to be completed by Winter 2020

2020 Neighborhood Extension Applications

Summary of Scoring Criteria

No.	Application Name	Cost Including Design	No. of Properties Benefitted	Cost Per Property	Percentage Signed	Avg. Age of Septic	No. Failing Septic	Proximity to CIP Projects	Notes
1	Via Sandia	\$ 1,610,000	18	\$ 89,444	72%	24	1	Ferguson Road sewer improvements with SE Area Plan to occur with development; will decommission the Ridgewater No. 2 Pump Station	This project was selected by the committee on February 26, 2019.
2	Kemple Drive	\$ 901,600	10	\$ 90,160	80%	29	0	None	Includes two vacant parcels
3	Tapadera Drive	\$ 2,117,150	31	\$ 68,295	26%	34	0	Discharges to Southeast Interceptor	Gravity from Murphy not feasible for this application area west of Tapadera
4	Woodhaven Drive	\$ 2,001,000	18	\$ 111,167	39%	25	2	Discharges to Southeast Interceptor	Gravity sewer not feasible on Reed Market
5	Parkwood Court	\$ 494,500	8	\$ 61,813	63%	20	0	Near SW Sewer Study basin	Gravity not cost effective; pressure sewer would be required to connect to Romaine Village area
6	East Lake Drive	\$ 4,945,000	59	\$ 83,814	61%	31	3	Immediately discharges to Desert Woods and Neighborhood Extension Project to be completed by Spring 2021; discharges to SEI	A portion will facilitate construction of Twin Lakes Loop and Newberry; Includes three potential subprojects
6.1	Subproject East Lake Drive	\$ 1,552,500	18	\$ 86,250	72%	33	1	Immediately discharges to Desert Woods and Neighborhood Extension Project to be completed by Spring 2021; discharges to SEI	Potential subproject of East Lake Drive application
6.2	Subproject Twin Lakes Loop	\$ 2,357,500	33	\$ 71,439	58%	31	2	Immediately discharges to Desert Woods and Neighborhood Extension Project to be completed by Spring 2021; discharges to SEI	Potential subproject of East Lake Drive application
6.3	Subproject Newberry Drive	\$ 1,035,000	8	\$ 129,375	50%	20	0	Immediately discharges to Desert Woods and Neighborhood Extension Project to be completed by Spring 2021; discharges to SEI	Potential subproject of East Lake Drive application
7	King Jehu Way	\$ 4,623,000	46	\$ 100,500	63%	24	4	Discharges to Southeast Interceptor	Includes two potential projects
7.1	Subproject King JehuWay	\$ 2,242,500	20	\$ 112,125	80%	27	3	Discharges to Southeast Interceptor	A portion will facilitate construction of the remainder King Hezekiah; Potential subproject of King Jehu application
7.2	Subproject King Hezekiah	\$ 2,380,500	26	\$ 91,558	50%	18	1	Discharges to Southeast Interceptor	Potential subproject of King Jehu application
8	Fargo Lane	\$ 1,035,000	10	\$ 103,500	60%	30	0	Discharges to existing gravity sewer main and pump station	-
9	Orion Drive	\$ 483,000	6	\$ 80,500	67%	31	1	Discharges to Southeast Interceptor	-
10	Range Place	\$ 2,760,000	31	\$ 89,032	61%	26	1	Discharges to Southeast Interceptor	-
11	Admiral Way	\$ 2,300,000	28	\$ 82,143	57%	32	0	Immediately discharges to Desert Woods and Neighborhood Extension Project to be completed by Spring 2021; discharges to SEI	Will facilitate other streets to be constructed (West View, Rockway Terrace)
Total*		\$ 23,270,250							

*Does not include subprojects since the cost is included in the parent application

2020 Neighborhood Extension Applications

Staff Scoring

(Sorted lowest to highest by Score)

No.	Application Name	Cost Per Property	Percent Signed	Average Age of Septic	No. Failing Septic	CIP Projects	Score*	Budget Cost**
6.3	<i>Subproject Newberry</i>	1	3.5	2.5	0	10.0	17.0	\$ 900,000
7.2	<i>Subproject King Hezekiah</i>	6	3.5	1	3.75	10.0	24.3	\$ 2,070,000
8	Fargo Lane	4	7	9	0	10.0	30.0	\$ 900,000
4	Woodhaven Drive	3	2	5	7.5	15.0	32.5	\$ 2,001,000
5	Parkwood Court	15	10	2.5	0	5.0	32.5	\$ 494,500
3	Tapadera Drive	14	1	15	0	10.0	40.0	\$ 2,117,150
10	Range Place	8	9	6	3.75	15.0	41.8	\$ 2,400,000
11	Admiral Way	11	5	13	0	15.0	44.0	\$ 2,000,000
2	Kemple Drive	7	14.5	8	0	15.0	44.5	\$ 901,600
7	King Jehu	5	11	4	15	10.0	45.0	\$ 4,020,000
6.2	<i>Subproject Twin Lakes Loop</i>	13	6	11	7.5	10.0	47.5	\$ 2,050,000
9	Orion Drive	12	12	11	3.75	10.0	48.8	\$ 420,000
7.1	<i>Subproject King Jehu</i>	2	14.5	7	11.25	15.0	49.8	\$ 1,950,000
6	East Lake Drive	10	8	11	11.25	10.0	50.3	\$ 4,300,000
6.1	<i>Subproject East Lake Drive</i>	9	13	14	3.75	15.0	54.8	\$ 1,350,000
1	<i>Via Sandia</i>	-	-	-	-	-	-	\$ 1,610,000

***Scoring Criteria**

Cost per property: Ranked 1-15; 1 is most expensive

Percent Signed: Ranked 1-15; 1 is lowest percent

Average Age of Septic: Ranked; 1 is youngest septic systems

Number of Failing Septic: Weighted score; each failing septic system equals 3.75 points

CIP Projects:

5 points = project that may be addressed by another CIP Project;

10 points = isolated project that does not facilitate construction of another street/area;

15 points = project that facilitates construction of another street/area

**Budget Cost represents funds required to accept the project. Applications in the King's Forest Study Area do not include design cost since the area is already in design. Cost Per Property incorporates design costs for all applications.

