



CITY OF BEND

November 13, 2020

Erik Tobiason
Bend Veterans Foundation
Bend, OR 97702

710 NW WALL STREET
PO BOX 431
BEND, OR 97709
(541) 388-5505 tel
Relay Users Dial 7-1-1
(541) 385-6676 fax
bendoregon.gov

MAYOR
Sally Russell

MAYOR PRO TEM
Bruce Abernethy

CITY COUNCILORS
Barb Campbell
Gena Goodman-Campbell
Justin Livingston
Bill Moseley
Chris Piper

CITY MANAGER
Eric King

Dear Mr. Tobiason:

Thank you for your HB 4212 application and offer to support our community with an emergency shelter. The City is pleased to offer a conditional approval of your shelter siting under HB 4212.

This approval of an emergency shelter application under HB 4212 (2020) is conditioned on the applicant securing all building permits and meeting any other City requirements. The enclosed memorandum outlines the City's review of your application under HB 4212. The City's approval of the application is based on the materials submitted by the applicant and criteria in HB 4212, and is not to be considered a general approval or authorization of the applicant's operations. The applicant is advised to perform its own due diligence to ensure that its operations comply will any other applicable laws, regulations, and standards. Divergence from the plans and materials submitted by the applicant may be grounds for revocation of this approval.

We appreciate the work you do for our community and wish you the best of luck in this next endeavor. Thank you.

Sincerely,
DocuSigned by:


E252C846657E4D8...
Eric King

Bend City Manager



INTERNAL MEMO

CITY OF BEND

TO: ERIC KING

FROM: LYNNE McCONNELL

DATE: NOVEMBER 13, 2020

RE: BEND HEROES FOUNDATION SHELTER SITING UNDER HB 4212

In a special session related to COVID-19, the Oregon Legislature passed HB 4212, a “relief” bill intended to respond to the emergency. The bill was signed on June 30, 2020. Within HB 4212 are several sections related to housing emergency and authorizes the siting of emergency shelters if certain conditions are met.

Bend Heroes Foundation (BHF) and Central Oregon Veterans and Community Outreach (COVO) are non-profit organizations operating in Bend. They are proposing to site a shelter under HB 4212. The subject property is 20355 Poe Sholes Drive, in Bend. This site is proximate to the Deschutes County 911 building offices and on property owned by Deschutes County. The requirements in the statute and a brief analysis of how the BHF proposal meets each is outlined in this memo.

Section 10:

“Emergency shelter” means a building that provides shelter on a temporary basis for individuals and families who lack permanent housing.”

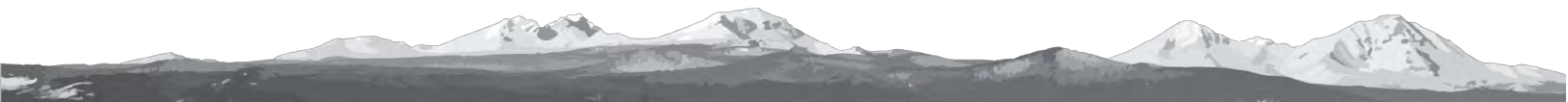
BHF intends to provide shelter on a temporary basis for individuals and families who lack permanent housing.

“May resume its use...after an interruption or abandonment of that use for two years or less.”

BHF will bring the shelter in to operation within 2 years of application approval. Because sewer and water are included in the plan, those services also should be operational within 2 years from application approval.

Section 11:

“A local government shall approve an application... for emergency shelter on any property... if the emergency shelter:



“(a) Includes sleeping and restroom facilities for clients;

BHF’s site plan shows 15 freestanding shelters and two community facilities for a total of 15 sleeping units (shelters) plus restrooms, on approximately 1.9 acres.

The site contains one lot. Restrooms shall be provided within a Community building and/or mobile restroom facility during the first phase of development, and eventually within each sleeping unit after phase 2 is complete.

“(b) Will comply with applicable building codes;

Due to the short timeline provided in HB 4212, a building permit could not be obtained for the application. A building permit demonstrates compliance with applicable building codes. The City’s Building Official has provided written correspondence indicating that there is an applicable building code and that this development is reasonably likely to fit within upon further discussion and evaluation. A building permit is likely to be secured in due time. The approval of this shelter will be conditional until all necessary building permits are secured, and final inspections are approved, demonstrating compliance with all applicable building codes. If site grading is required, it must comply with chapter 16, “Grading.”

“(c) Is located within an urban growth boundary...”

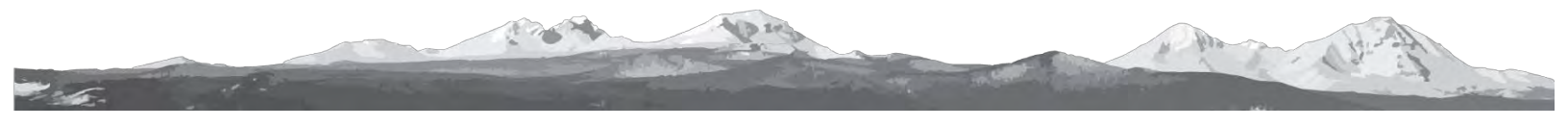
The shelter location is 20355 Poe Sholes Drive, within the City’s Urban Growth Boundary.

“(d) will not result in the development of a new building that is sited within an area designated under a statewide land use planning goal related to natural disasters and hazards...”

The lot upon which this development will occur is not designated as “goal protected lands” under Statewide Planning Goals. This means the subject property is not within any floodplain areas, natural hazards, or other mapped environmental health hazards.

“(e) has adequate transportation access to commercial and medical services

Poe Sholes is a fully improved local street which connects to Jamison Street to the East. Jamison is a frontage road to Hwy 20 with nearby connections to Empire Avenue, Hwy 20, and 3rd Street/ Hwy 97. The subject property is within 600 feet of a bus stop on Jamison Street, and within ½ mile of 3 major bus routes. Additionally, the subject site is within 1.5 miles of the Hwy 97/ Hwy 20 interchange at Empire, providing connectivity throughout Central Oregon and the rest of the state. The Cascade Village Shopping Center, containing several grocery stores as well as a variety of retail establishments, is directly across Hwy 20 from the subject property.



(f) Will not pose any unreasonable risk to public health or safety

The applicant self-certifies that this facility will not pose any unreasonable risks to public health or safety, pursuant to building code compliance, fire safety access, operating plans and mitigating steps outlined within the application materials. Additionally, BHF obtained a letter from Deschutes County Public Health indicating that the pilot plan demonstrates no concern with public health measures. Staff believe that this application will meet basic public health and safety as submitted.

Agency structure

Both BHF and COVO are a registered 501(c)(3) organizations, which are non-profits operating under 501(a) IRS determination. An IRS Determination letter was submitted with the application. In addition, Deschutes County submitted a landlord verification of use letter that indicates the County's partnership in supporting the Veteran's Village. BHF meets the agency structure criteria.

(3) Additional amenities and services:

BHF intends to provide common bathroom, shower, laundry, and cooking facilities, as well as sleeping units. Storage, a garden/recreation and outdoor meeting areas and trail are also proposed. Case management services including behavioral and mental health, housing placement, financial counseling, job placement, and vocational services will be provided to residents as appropriate.

Section 12:

Sections 10 and 11 are repealed 90 days after the effective date of this 2020 special section Act.

The repeal date was September 28th at 5:00 p.m. BHF's full application was received by the deadline.

The establishment of shelter locations geographically dispersed in the City of Bend is one of the strategies approved by the Bend City Council to address homelessness in Deschutes County. The BHF site would assist the City achieve its goal. Staff recommends approval of the proposal from BHF with the following suggested additions:

The approval of this shelter will be conditional until all necessary building permits are secured and inspections are performed, demonstrating compliance with applicable building codes.

From: Larry Medina <lmedina@bendoregon.gov>
Sent: Wednesday, September 2, 2020 12:46 PM
To: Barry Johnson <BJohnson@parametrix.com>
Subject: RE: Veteran's Village

Barry,

Thanks for providing the draft Site Plan. This email is to acknowledge that emergency vehicles can safely access the proposed Veteran's Village site. If I can be of any further assistance please do not hesitate to contact my office.

*Larry Medina
Deputy Chief - Prevention
Bend Fire & Rescue
541-322-6308*

From: Barry Johnson <BJohnson@parametrix.com>
Sent: Wednesday, September 2, 2020 12:21 PM
To: Larry Medina <lmedina@bendoregon.gov>
Subject: RE: Veteran's Village

Larry,

Here's a draft Site Plan showing the layout and basic access. We will note a gate with a Knox Box or equivalent on future sets. I'm not sure at this point where the gate will be located but it could be somewhere about midway along the access road.

Please let me know if you have any comments and whether you can provide acknowledgement of appropriate access to the site.

Thanks,

Barry

Barry Johnson, PE

541-508-7710 | main
541-508-7819 | direct
541-420-2032 | cell

From: Larry Medina <lmedina@bendoregon.gov>
Sent: Tuesday, September 1, 2020 2:08 PM
To: Barry Johnson <BJohnson@parametrix.com>
Subject: Re: Veteran's Village

Barry,

I'm sure we can provide what you need.

Sent from my Verizon, Samsung Galaxy smartphone
Get [Outlook for Android](#)

From: Barry Johnson <BJohnson@parametrix.com>
Sent: Tuesday, September 1, 2020 1:55:35 PM
To: Larry Medina <lmolina@bendoregon.gov>
Subject: Veteran's Village

Larry,

We're working on a site plan to meet the requirements of the City's application. I just wanted to give you a heads up that we expect to have a draft either tomorrow or Thursday morning. Per the application we will be needing the following from the Fire Department as part of the application.

4. Please provide Fire Department acknowledgement that emergency vehicles can safely access the proposed site. (Attach email or other correspondence.) Inquiries should be directed to: Larry Medina lmolina@bendoregon.gov or 541-322-6308.

Once you review the plan we'll be sending (I will send to you via email once we have a draft site plan), do you expect you can provide the acknowledgement requested?

Thanks again for taking the time to review this with me last week.

Barry

Parametrix

ENGINEERING . PLANNING . ENVIRONMENTAL SCIENCES

Barry Johnson, PE

Division Manager,
Vice President
541-508-7710 | main
541-508-7819 | direct
541-420-2032 | cell



PUBLIC RECORDS LAW DISCLOSURE: Emails are generally public records and therefore subject to public disclosure unless exempt from disclosure under Oregon Public Records Law. Emails can be sent inadvertently to unintended recipients and contain confidential or privileged information. If you are not the intended recipient (or authorized to receive for

the recipient), please advise by return email and delete immediately without reading or forwarding to others. Thank you.

PUBLIC RECORDS LAW DISCLOSURE: Emails are generally public records and therefore subject to public disclosure unless exempt from disclosure under Oregon Public Records Law. Emails can be sent inadvertently to unintended recipients and contain confidential or privileged information. If you are not the intended recipient (or authorized to receive for the recipient), please advise by return email and delete immediately without reading or forwarding to others. Thank you.

From: Joseph McClay [mailto:jmcclay@bendoregon.gov]
Sent: Friday, September 11, 2020 2:06 PM
To: Tobiason, Erik <erik.tobiason@rbc.com>
Cc: Lynne McConnell <lmccConnell@bendoregon.gov>
Subject: RE: Central Oregon Veterans Village Application

Hi Erik,

The Veteran's Village team has been in regular contact with Buildings staff and is working to meet the requirements of building permit application. We have confidence that with further discussion and Building Permit application review the Veteran's Village will be able to meet building permit requirements.

Sincerely,



Due to the COVID-19 epidemic, the City of Bend City Hall, including the Permit Center, will be closed to public access starting March 19, 2020. We are maintaining operations and are available via phone, email and electronic services. The latest information regarding our operations and contact information will be shown on the Community Development Department webpage. If you need general assistance or want to make a payment by phone, please call 541-323-8551. We appreciate your support and understanding

From: Tobiason, Erik <erik.tobiason@rbc.com>
Sent: Thursday, September 10, 2020 3:14 PM
To: Joseph McClay <jmcclay@bendoregon.gov>
Cc: Lynne McConnell <lmccConnell@bendoregon.gov>
Subject: Central Oregon Veterans Village Application

Hello Joe,

Given our discussions to date, and the designs we have shared, would you be able to provide the necessary "Acknowledgement from the Building Department that the shelters could meet building code after further discussion" for our Emergency Shelter Application?

I hope to submit the Application this week.

Thank you for all of your support,
Erik

Erik Tobiason
President
Bend Heroes Foundation
541-678-0662
bendheroes.org



Application for Emergency Shelter Siting (HB 4212)

Name of applicant: Erik Tobiason

Name of organization: Bend Heroes Foundation

Contact address: 61114 Minaret Circle Bend OR 97702

Phone number: 5416780662 Email: tobiason.erik@gmail.com

Name of future operator of shelter: Central Oregon Veterans Outreach

Contact address: 61510 S HWY 97 STE 100 Bend OR 97702

Phone number: 541-383-2793 Email: kathy.skidmore@covo-us.org

Anticipated date of opening of emergency shelter: 12/1/2020

Agency status: Non-profit Housing Authority Shelter Operator (current)

Number of years experience operating an emergency shelter: 9 years

Do you have a pending building permit application? Yes No

Permit number(s): [Click or tap here to enter text.](#)

Is this new construction? Yes No

Does the proposed shelter contain sleeping and restroom facilities for clients? Yes
 No

Please describe how your operations demonstrate "best practices for operating an emergency shelter": See "Appendix-Services"

What other services do you intend to provide onsite? See "Appendix-Services"

Please indicate how you intend to connect this site to existing roads, water, and sewer if connections do not currently exist: See Attached Site Plan ("3-Site Plan") for utility connections and road connections

List of attachments:

1. Please provide a separate application narrative explaining how the proposal meets all requirements of Section 11 of HB 4212. If you do not provide sufficient information for the City to determine if all requirements will be met, the City may not deem your

application complete until sufficient information is submitted. Any approval is contingent on issuance of a valid building permit, if required.

2. Please attach a diagram of the facility, indicating sleeping and restroom areas, and areas for supplemental services as applicable (laundry, case management, showers, storage, food service, recreation areas, etc.).
3. Please attach a map showing the building location, including access for emergency vehicles or residents, water and sewer connections if these systems are not currently connected on site, and other relevant information.
4. Please provide Fire Department acknowledgement that emergency vehicles can safely access the proposed site. (Attach email or other correspondence.) Inquiries should be directed to: Larry Medina lmolina@bendoregon.gov or 541-322-6308.
5. Please provide Building Division acknowledgement that there has been a discussion and it is reasonably likely that the proposed shelters could meet building code after further discussion. Inquiries should be directed to Joe McClay: jmccclay@bendoregon.gov or 541-693-2145.
6. If land is not owned by applicant, statement from property owner (and/ or lease) that shows agreement with planned use.
7. Please attach a budget, including descriptions of funds that have been secured, applied for, and needed funds not yet secured.

Self-certification – I certify that

- I will ensure compliance with applicable building codes,
- This facility will not pose unreasonable health and safety issues,
- This facility will be providing adequate access to emergency services and for residents to access commercial/ medical services.

Sign here: _____ Date: _____

application complete until sufficient information is submitted. Any approval is contingent on issuance of a valid building permit, if required.

2. Please attach a diagram of the facility, indicating sleeping and restroom areas, and areas for supplemental services as applicable (laundry, case management, showers, storage, food service, recreation areas, etc.).
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6. If land is not owned by applicant, statement from property owner (and/ or lease) that shows agreement with planned use.
7. Please attach a budget, including descriptions of funds that have been secured, applied for, and needed funds not yet secured.

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- This facility will be providing adequate access to emergency services and for residents to access commercial/ medical services.

Sign here: _____

Date: _____

 _____  _____

Central Oregon Veterans Village-Services

Please describe how your operations demonstrate “best practices for operating an emergency shelter”

COVO has been operating for 15 years serving the veteran population of Central Oregon, 15 years of serving veterans and understanding veteran culture. Our best practices start with a “housing first” approach for our veterans and families. With the establishment of the Central Oregon Veterans Village we can safely house veterans and start the process of essential wrap around services. With the opening of the veterans village we will place a site manager with a team a specialists to effectively and safely house residents with a firm set of rules to follow while housed there to ensure that all residents are provided a safe and comfortable place to reside. This experience is essential to provide the best services available to our veterans and start the process to transition to permanent housing.

For nine years COVO operated a transitional housing program, the Home of the Brave, under a VA funded Grant and Per Diem program (GPD), which concluded when grant funding ended. These were Veterans with very high barriers to housing (such as bad credit, criminal history, lack of adequate income, mental or physical health challenges). That program offered intensive, wrap-around services for Veterans for up to 6 Veterans at a time for up to 2 years. COVO owned and managed the house, which had to meet strict VA medical, habitability and safety standards and pass twice yearly inspections. COVO partnered with VA social workers for screening and case management. 76% of the Veterans who went through the Home of the Brave exited successfully to housing. COVO’s experience managing Home of the Brave and coordinating services for residents, is the basis for the Central Oregon Veterans Village screening of residents, service coordination and site management.

In our Home of the Brave each Veteran had a private bedroom and half-bath, with a shared living room, garden and deck and kitchen area for preparing meals. Veterans agreed to and were held accountable to site rules for curfews, visitor restrictions, logging out and in when leaving the site, cleaning, food preparation and yard work duties, no alcohol or non-prescribed drug usage or storage, having periodic room inspections, vehicle rules, attending required shelter group meetings and at least weekly one-on-one meetings with the case manager. All Veterans also worked with a VA social worker on mental and medical health assessment and treatment. With our case managers Veterans developed an individual service plan and were held accountable to working toward their goals in the plan. All Veterans were required to volunteer, be employed or working and/or in school or training. In addition to house and individual meetings, our staff was available 24/7 to work with Veterans in crisis and deal with physical property issues. Case managers coordinated and tracked services with other providers for each Veteran according the Veteran’s needs, worked alongside Veterans on volunteer projects and organized appropriate social and educational opportunities for the group.

Since 2013, COVO has held the contract for the Health Care for Homeless Veterans (HCHV) Emergency Transitional Housing (ETH) program and operates it in partnership with the Portland VA Homeless Programs and the Bethlehem Inn. Up to 5 Vets at a time can be enrolled. They are housed at the Bethlehem Inn, receive case management and support from COVO, the VA and Bethlehem Inn, and are eligible for up to a 90-day stay with a possible extension on a case-by-case basis. This is only for short-term emergency shelter.

Since 2012 COVO has been the Central Oregon provider for the Supportive Services for Veteran Family (SSVF) program, a VA grant-funded program providing intensive case management for homeless Veterans and Veterans who are precariously housed, and which serves an average of 100 Central Oregon Veterans and their families each year.

COVO has taken the steps to make sure our rapid rehousing and housing loss prevention programs for homeless and low-income Veterans are meeting high standards and best practices. COVO received a three-year CARF

(Commission on Accreditation of Rehabilitation Facilities) accreditation, the highest level possible, on our first application to CARF in 2017 and was just reviewed in June 2020 and awarded a second three-year accreditation, effective through June 2023. The Veterans Administration (VA) recognized CARF as one of two accreditations acceptable for VA homeless programs, such as the SSVF, HCHV and GPD programs COVO has in house. Portland VA medical center programs, including some at the Bend VA Clinic, also undergo CARF accreditation. Our Home of the Brave program, which is our template for service coordination for the Veterans Village, also underwent – and passed - CARF International review as part of the Portland VA Homeless Veteran programs.

CARF standards are centered around a person-first philosophy. By adopting a person-centered focus on services, providers can enhance the quality of life of persons served and improve their bottom line.

A CARF accredited provider, like COVO, means they guarantee the following:

- Assurance to persons seeking services that a provider has demonstrated conformance to internationally accepted standards.
- Improved communication with persons served.
- Person-focused standards that emphasize an integrated and individualized approach to services and outcomes.
- Accountability to funding sources, referral agencies, and the community.
- Management techniques that are efficient, cost-effective, and based on outcomes and consumer satisfaction.
- Evidence to federal, state, provincial, and local governments of commitment to quality of programs and services that receive government funding.
- Guidance for responsible management and professional growth of personnel.

In June 2020 CARF found that Central Oregon Veteran & Community Outreach, Inc dba Central Oregon Veterans Outreach demonstrated the following strengths:

- COVO's purpose, mission, and core values are expressed clearly and serve as guiding principles for the organization's direction in its day-to-day operations.
- The organization is governed by a dedicated group of volunteer board members who are highly engaged in the organization's mandate. Board member representation is comprised of individuals who are knowledgeable and offer diverse perspectives relative to the scope of services provided by the organization. Politically and community connected, they are enthusiastic about helping clients and their families and assisting the organization in strategic visioning.
- COVO is led by a highly competent, caring, and experienced leadership team whose members demonstrate a strong commitment to enhancing the clients' quality of life. The organization's client-centered philosophy is evident in its systems, approaches, and decision making.
- Staff members are enthusiastic about their work. A culture of teamwork, cooperation, respect, and open communication is evidenced across COVO. The organization's staff members demonstrate determination, flexibility, and professionalism and often extend themselves beyond their assigned duties to respond to the individualized needs of each client.
- COVO provides supports and services to clients and their families in Bend, Oregon, and the surrounding area from a modern facility, which is well lit, uniquely decorated, and thoughtfully engineered to serve its clients' needs and administrative functions. The business office is centrally located and provides easy access to public transportation, allowing for greater access capacity for clients.
- The leadership and staff members are actively involved in a variety of relevant community service and business associations, which ensure that they stay abreast of and have the opportunity to influence local economic and

policy issues and funding opportunities. The involvement in these various committees has led to the overall enhancement of the organization's status and reputation within the community.

- COVO is commended for its strategic planning initiatives to incorporate future fundraising opportunities. Monies secured through fundraising activities will be used to enhance operations within the organization and create opportunities for new programs and services.
- The organization is committed to accepting clients with complex support needs and has been successful in providing services to a population that has a history of falling through the gaps. Principles of housing first and harm reduction guide the organization and minimize barriers to service provision.
- The supports and services offered to clients through the homeless program are highly regarded and valued by the current clients and those who have completed the program. Client satisfaction survey results indicate a high level of satisfaction across many elements, including being helped to set and achieve housing goals and being treated respectfully. Others indicated that they felt the program not only helped them to regain housing, but to stabilize their health and financial situations and regain a sense of well-being. Further, clients interviewed indicated that COVO literally saved their lives.
- COVO is complimented for its focus on being responsive to the needs of veterans as well as non-veterans in the local community who experience homelessness and striving to fill the gaps that other service providers cannot or where needs fall outside of available funding requirements.
- Robust partnerships including the Veterans Administration, the local tri-county continuum of care (CoC), and other local homeless and veteran services initiatives have positioned COVO as a clear leader in the homeless service provider community in Central Oregon.
- Case managers, Supportive Services for Veteran Families staff members, and program leaders appear to be dedicated to the provision of quality services to veterans and their families. The provision of quality client-centered services to veterans is clearly emphasized, and staff members are dedicated to assisting veterans served to achieve their personal goals for housing stability and community integration. Individual plans and accompanying service delivery objectives are clearly client-centered and driven by the individual stage of change of the clients and their strengths and preferences.
- COVO's partnerships with a wide array of other governmental, nonprofit, and faith-based organizations have allowed program staff members to connect clients and their families with necessary community services and support and assist clients to be contributing members of their communities. Community outreach efforts are robust in spite of the wide geographic and rural area served by the program. This enhances COVO's ability to be known as the provider of choice in the tri-county area of Central Oregon, not only for veterans and their families but also as a resource for all people who experience homelessness.
- Community partners mentioned that COVO's dedication to serving clients and their families and staff members and leadership's willingness to think outside the box on difficult housing, physical health, and mental health challenges has produced a high level of housing stability for clients in the tri-county area, irrespective of the complexity or severity of the conditions experienced by clients.
- Case managers and program leaders are complimented for their persistence and creativity as they work to secure housing for clients and their families who are homeless. These efforts include valuable and productive win-win partnerships with a wide range of landlords and property managers. The systematic development of these valuable relationships continues to pave the way to stable housing for clients in the counties and communities served by COVO. The use of a customer relations management (CRM) database has further emphasized the wide array of these partnerships and ensured that these relationships can be continued and nurtured by all staff members even if the program experiences staff turnover.
- A strong enthusiasm for the mission of COVO was evident in every conversation with staff members and leadership. This enthusiasm was mentioned by community partners and appears to be an underlying theme for the services provided to clients and their families.
- During interviews with clients and their family members, appreciation was expressed for the quality of services provided by COVO and the work of COVO staff members, including leadership. A sampling of the positive feedback includes, "They kept me off the streets in spite of my trying to run from them multiple times, I tried to push them away but they have been extremely supportive"; "I usually have something derogatory to say about veteran services, but in COVO's case, I can't come up with anything but praise"; "They are up front and honest

and it's been a long time since I could say that about any service"; "They are a blessing"; "They really looked at me as a person and not just another number"; "They lined me up with everything I needed and more that I didn't know I needed"; "Their follow-up is extraordinary"; and "They have honored us in every way possible."

- Similar positive feedback was expressed by a range of landlords and property managers. Quotes from landlords and property managers included, "They are great"; "COVO is hands down the best homeless service provider"; "They are better than other agencies I work with"; "The veterans have their ups and downs, but COVO is there to support them in any way they can"; "They help anyone who needs help, even if they aren't a veteran"; and "They just jump in and provide amazing supports."
- Similar positive feedback was expressed by community partners in the CoC in the tri-county area of Central Oregon. When asked about areas for improvement, community partners unanimously requested that COVO's services be even more broadly available and wished for COVO to have additional financial and staff resources to serve even more people experiencing homelessness. Quotes included, "They go over and beyond"; "The staff members always give 150 percent"; "They are very proactive; they are my first go-to resource in this area, they are always at the table and if they can't help someone because they don't qualify they know all the other resources"; "Hands down, COVO is the best provider in this area"; "They use a very holistic approach"; "Working with them goes very smoothly, staff are great communicators and terrific collaborators"; and "They run a tight ship and as such hold all of us providers in the CoC accountable."

What other services do you intend to provide onsite?

Our residents will have access to intensive care to veteran based providers that include the federal VA housing, VA mental and general care, non-profit providers and faith based providers who can assist in housing, substance abuse counseling. COVO will also bring veterans service providers to connect veterans to their earned benefits such as disability compensation, Pension and health care. Veterans with undesirable discharges will have an opportunity to have the discharge reviewed and upgraded with trained professionals. COVO will also work with veterans to obtain proper state identification that will allow veterans to access state benefits such as the Oregon Trail Card and state health and mental health care. Having a residence for veterans in Bend will become a focus of services for veterans that will bring the essential wrap around services to allow veterans to heal and achieve the goal of being permanently housed.

The following is a list of the planned services and examples of providers that have already identified themselves as wanting to provide services for the Veterans Village. This list is not yet all inclusive, as more service partners are, and will continue to be, identified for onsite services when the physical property is developed to have the capacity for onsite space to work in. With the impact of COVID19 on services, most services are accessible already via phone and internet.

Employment Services – key support from WorkSource Bend Veteran Employment Services Disabled Veterans' Outreach Program Specialist/Local Veterans' Employment Representative

Income Enhancement – employment and federal, VA and state benefits with COVO SOAR program, ALSO representative for Social Security claims; Veteran Service Officers

Mental Health – key support and coordination of services from Still Serving Counseling, specializing in Veteran mental health; Deschutes County Behavioral Health; Bend VA clinic; Vet Center

Substance Abuse – Bend Treatment Center, Deschutes County Veteran Peer Support, AA and NA,

Self Sufficiency & Non Cash Benefits – COVO, SOAR,

VA benefits– COVO and County Veteran Service Officers from Deschutes, Crook and Jefferson Counties

Health Care – Mosaic Medical Mobile Van, Medical Teams International Dental Van, OHP assisters (COVO, Mosaic) Bend VA Clinic social workers from the HUD-VASH team

Education – COCC, OSU Cascades Veteran program; Work Source DVOP/LVER

Nutrition Services – community volunteers, food banks, faith based organizations, Veteran organizations, local restaurant owners

Financial Counseling –local financial advisors specializing in Veteran services

Clothing – COVO

Legal Services – local attorneys who currently do pro bono work for Veterans through COVO

Healthy Social supports/inclusion – Veteran service organizations, fitness professionals

HB 4212 Compliance Narrative

The Bend Heroes Foundation, in partnership with Central Oregon Veterans Outreach, is applying for an Emergency Shelter at 20355 Poe Sholes Drive within the Deschutes County Public Safety Campus. The Emergency Shelter will be known as the Central Oregon Veterans Village (Village). The Village will consist of fifteen (15) shelters and 2 community facilities. The shelters will contain sleeping facilities (11.1.a). Restrooms will be provided on site (11.1.a). The shelter units and community facilities will comply with applicable building codes, and public health and safety codes (11.1.b/f). The site is within the Urban Growth Boundary of the City of Bend (11.1.c). To the best of our knowledge the site is not within a statewide land use planning goal related to natural disasters and hazards (11.1.d). Transportation access for the site will be through via CET route 4 accessed at a covered stop roughly 350 meters from the site. Through CET/Public Transit residents of the Village will be able to access commercial and medical services, as well as the Veterans Administration, the Public Library and other key service providers (11.1.e). Additionally, County Behavioral Health services will also be within the Public Safety Campus.

Both Bend Heroes Foundation and Central Oregon Veterans Outreach (“COVO”) are 501(c)3 public benefit non-profits and have been recognized as exempt from income tax under section 501(a) of the Internal Revenue Code (11.2.b.C). The Village will be operated by COVO, in partnership with Deschutes County (11.2.a). COVO has nine years of experience operating emergency shelters with significant expertise utilizing best practices (11.2.b.C). A detailed explanation of COVO’s experience is detailed in “Appendix-Services”.

In addition to providing shelters containing sleeping facilities for homeless veterans, the Village will provide restrooms, showers, storage, laundry, and food preparation services (11.3.a.A-D) in its community buildings. The grounds will be interconnected with walkways, outdoor meeting areas, and a garden/recreation area (11.3.a.E). On-site case management within the community facilities will include services for physical and behavior health, housing placement, financial counseling, job placement, and vocational education (11.3.a.F).

Appendix

HB4212 Section 11 Text

SECTION 11. (1) A local government shall approve an application for the development or use of land for an emergency shelter on any property, notwithstanding ORS chapter 195, 197, 215 or 227 or ORS 197A.300 to 197A.325, 197A.405 to 197A.409 or 197A.500 to 197A.521 or any statewide land use planning goal, rule of the Land Conservation and Development Commission, local land use regulation, zoning ordinance, regional framework plan, functional plan or comprehensive plan, if the emergency shelter: (a) Includes sleeping and restroom facilities for clients; (b) Will comply with applicable building codes; (c) Is located inside an urban growth boundary or in an area zoned for rural residential use as defined in ORS 215.501; (d) Will not result in the development of a new building that is sited within an area designated under a statewide land use planning goal relating to natural disasters and hazards, including floodplains or mapped environmental health hazards, unless the development complies with regulations directly related to the hazard; (e) Has adequate transportation access to commercial and medical services; and (f) Will not pose any unreasonable risk to public health or safety. (2) An emergency

shelter allowed under this section must be operated by: (a) A local government as defined in ORS 174.116; (b) An organization with at least two years' experience operating an emergency shelter using best practices that is: (A) A local housing authority as defined in ORS 456.375; (B) A religious corporation as defined in ORS 65.001; or (C) A public benefit corporation, as defined in ORS 65.001, whose charitable purpose includes the support of homeless individuals and that has been recognized as exempt from income tax under section 501(a) of the Internal Revenue Code on or before January 1, 2017; or (c) A nonprofit corporation partnering with any other entity described in this subsection. (3) An emergency shelter approved under this section: (a) May provide on-site for its clients and at no cost to the clients: (A) Showering or bathing; (B) Storage for personal property; (C) Laundry facilities; (D) Service of food prepared on-site or off-site; (E) Recreation areas for children and pets; (F) Case management services for housing, financial, vocational, educational or physical or behavioral health care services; or (G) Any other services incidental to shelter. (b) May include youth shelters, veterans' shelters, winter or warming shelters, day shelters and family violence shelter homes as defined in ORS 409.290. (4) An emergency shelter approved under this section may also provide additional services not described in subsection (3) of this section to individuals who are transitioning from Enrolled House Bill 4212 (HB 4212-A) Page 7 unsheltered homeless status. An organization providing services under this subsection may charge a fee of no more than \$300 per month per client and only to clients who are financially able to pay the fee and who request the services. (5) The approval of an emergency shelter under this section is not a land use decision and is subject to review only under ORS 34.010 to 34.100.



August 24, 2020

City of Bend
Attention Lynne McConnell
710 NW Wall Street
Bend, OR 97703

Dear Ms. McConnell:

The purpose of this Letter of Intent is to confirm in writing, Deschutes County's support of the Veteran Village project. The proposed project location has been identified as County-owned property on the Public Safety Campus located at 20355 Poe Sholes Drive, Bend. It is the County's commitment to enter into a long-term ground lease at this location.

The Board of County Commissioners recognizes the importance of providing homeless veterans with resources and tools they need to gain stability and enhance their lives. This process starts with a safe and stable housing environment like Veterans Village where they can seek the supportive services they need as individuals, with the goal of each veteran eventually being placed in permanent housing or supported housing as needed.

To be successful, a project like Veterans Village requires affective and active collaboration between private and public partners. This will include Bend Heroes Foundation, Central Oregon Veterans Outreach and likely other nonprofits as well as Deschutes County and the City of Bend.

We are excited and eager to see this project underway in the coming months and look forward to witnessing the impact Veterans Village will have on our veterans and in our community.

DESCHUTES COUNTY BOARD OF COMMISSIONERS

Patti Adair
Chair

Anthony DeBone
Vice-Chair

Philip G. Henderson
Commissioner

cc: County Administrative Office
Sheriff's Office
Bend Heroes Foundation

Property Management
Health Services – Behavioral Health
Central Oregon Veterans Outreach

1300 NW Wall Street Bend, Oregon 97703

(541) 388 6572

board@deschutes.org

www.deschutes.org



Department of the Treasury
Internal Revenue Service

OGDEN UT 84201-0046

In reply refer to: 0423223404
Oct. 07, 2016 LTR 252C 0
76-0782755 000000 00
Input Op: 0423223404 00005168
BODC: TE

CENTRAL OREGON VETERAN & COMMUNITY
OUTREACH INC
61510 SOUTH HWY 97 SUITE 100
BEND OR 97702-2102



013061

Taxpayer Identification Number: 76-0782755

Dear Taxpayer:

Thank you for the inquiry dated Aug. 31, 2016.

We have changed the name on your account as requested. The number shown above is valid for use on all tax documents.

If you need forms, schedules, or publications, you may get them by visiting the IRS website at www.irs.gov or by calling toll-free at 1-800-TAX-FORM (1-800-829-3676).

If you have any questions, please call us toll free at 1-877-829-5500.

If you prefer, you may write to us at the address shown at the top of the first page of this letter.

Whenever you write, please include this letter and, in the spaces below, give us your telephone number with the hours we can reach you. Also, you may want to keep a copy of this letter for your records.

Telephone Number () _____ Hours _____

Sincerely yours,

Nicole T. Salazar
Dept. Manager, Code & Edit/Entity 3

Enclosure(s):
Copy of this letter

INTERNAL REVENUE SERVICE
P. O. BOX 2508
CINCINNATI, OH 45201

DEPARTMENT OF THE TREASURY

Date: DEC 01 2005

CENTRAL OREGON VETERANS OUTREACH
INC
PO BOX 8523
BEND, OR 97708-8523

Employer Identification Number:
76-0782755
DLN:
17053102055015
Contact Person:
JEANNIE BARBA ID# 95303
Contact Telephone Number:
(877) 829-5500
Accounting Period Ending:
DECEMBER 31
Public Charity Status:
170(b)(1)(A)(vi)
Form 990 Required:
YES
Effective Date of Exemption:
MARCH 3, 2005
Contribution Deductibility:
YES
Advance Ruling Ending Date:
DECEMBER 31, 2009

Dear Applicant:

We are pleased to inform you that upon review of your application for tax exempt status we have determined that you are exempt from Federal income tax under section 501(c)(3) of the Internal Revenue Code. Contributions to you are deductible under section 170 of the Code. You are also qualified to receive tax deductible bequests, devises, transfers or gifts under section 2055, 2106 or 2522 of the Code. Because this letter could help resolve any questions regarding your exempt status, you should keep it in your permanent records.

Organizations exempt under section 501(c)(3) of the Code are further classified as either public charities or private foundations. During your advance ruling period, you will be treated as a public charity. Your advance ruling period begins with the effective date of your exemption and ends with advance ruling ending date shown in the heading of the letter.

Shortly before the end of your advance ruling period, we will send you Form 8734, Support Schedule for Advance Ruling Period. You will have 90 days after the end of your advance ruling period to return the completed form. We will then notify you, in writing, about your public charity status.

Please see enclosed Information for Exempt Organizations Under Section 501(c)(3) for some helpful information about your responsibilities as an exempt organization.

Letter 1045 (DO/CG)

CENTRAL OREGON VETERANS OUTREACH

Sincerely,



Lois G. Lerner
Director, Exempt Organizations
Rulings and Agreements

Enclosures: Information for Organizations Exempt Under Section 501(c)(3)

Central Oregon Veterans Village Budget

Construction Costs		
Item	Description	Amount
Engineering/Architecture/Design		\$30,000
Entitlements	Text amendments, permitting/SDCs	\$50,000
Site preparation		\$200,000
	Grading	
	Utilities/Trenching	
	Parking	
	Roads	
	Fencing	
Shelters (15)	Includes structure, insulation, heater, toilet, sink	\$90,000
Community Center		
- Building		\$300,000
- Furnishings	Tables, chairs, furniture, computers, kitchen equipment	\$60,000
Total Capital Costs		\$730,000
Operating Costs (Annual)		
Case Managers	Four FTE @ \$50,000/year	\$200,000
Utilities	Electricity, Water, Sewer	\$30,000
Food, paper products, etc.		\$60,000
Insurance & Maintenance		\$10,000
Total Operating Costs		\$300,000
Total Overall Costs (year 1)		\$1,030,000

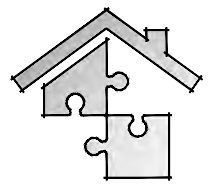
<u>Funds Secured</u>		
Architectural Services	In Kind	\$12,500
Civil Engineering Services	In Kind	\$12,500
Mechanical Engineering Services	In Kind	\$5,000
Deschutes County	Cash	\$150,000
BNSF grant	Cash	\$10,000
Private Donors	Cash	\$21,500
Total Funds Secured		\$211,500
<u>Funds Committed</u>		\$45,000
<u>Funds Applied For</u>		
Crevier Grant	construction	\$10,000
Bend Foundation (pending)	construction	
Oregon Department of Veterans Affairs (pending)	Operations	\$5,000
City of Bend AHF/CDBG (pending)	Cash	\$150,000

Balance needed for construction	\$568,500
Balance needed for operations	\$250,000

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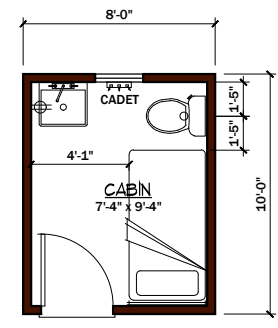
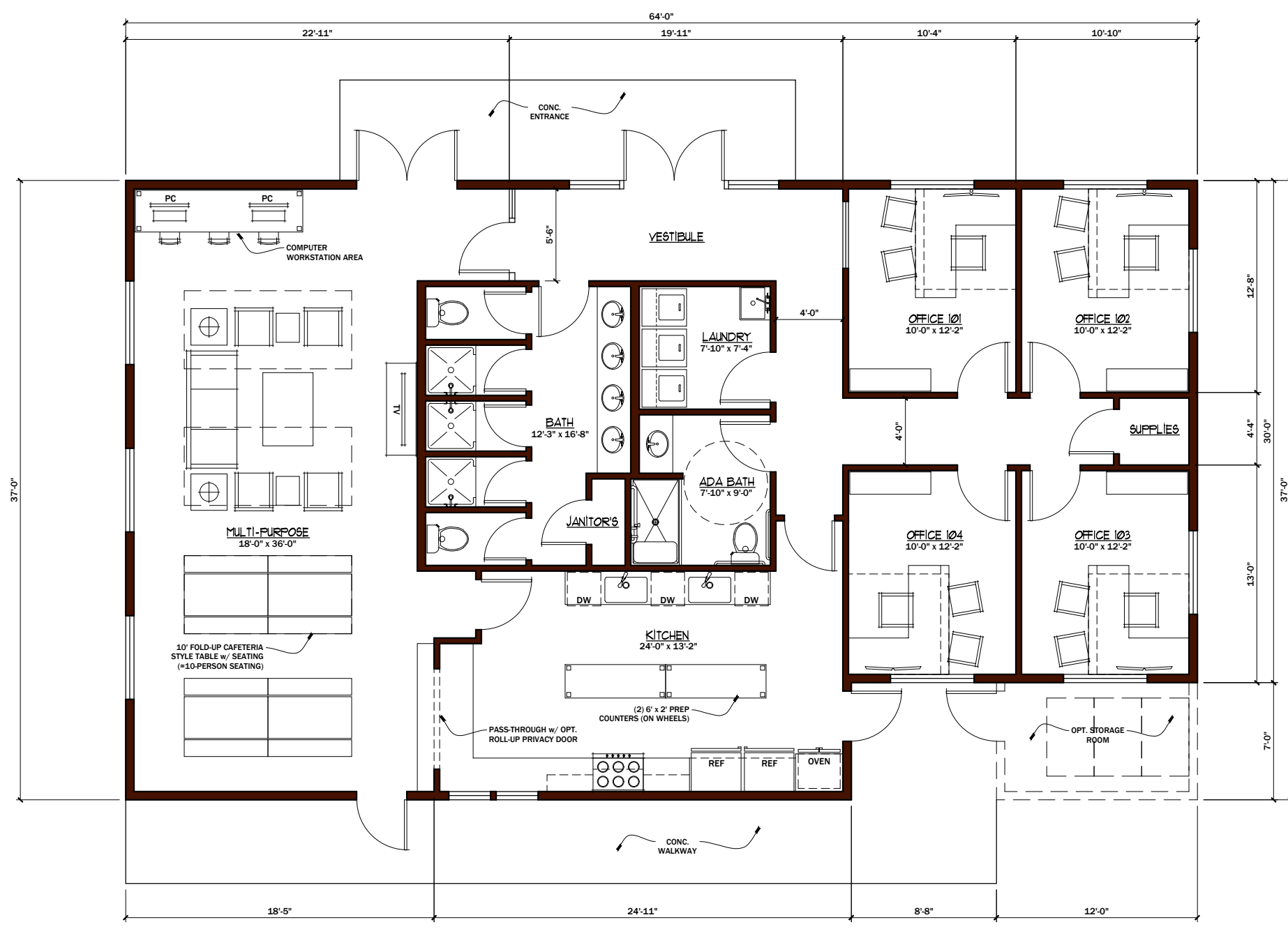
NOTICE: THESE PLANS ARE NOT STAMPED BY AN ENGINEER OR ARCHITECT. LOCAL BUILDING CODES AND/OR OTHER APPLICABLE LAWS, CODES, RULES OR ORDINANCES MAY REQUIRE THESE PLANS TO BE CHECKED BY AN ENGINEER AND/OR ARCHITECT PRIOR TO RECEIPT OF A BUILDING PERMIT. OWNER, CONTRACTORS, AND/OR AGENTS ARE SOLELY RESPONSIBLE FOR OBTAINING SUCH CHECKS.

ALL INFORMATION ON THESE PLANS SHOULD BE VERIFIED BY OWNER AND/OR ITS CONTRACTORS OR AGENTS AS TRUE AND CORRECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE DESIGNER MAKES NO REPRESENTATION OR WARRANTY REGARDING THESE PLANS AND THE OWNER ACKNOWLEDGES THAT THE DESIGNER HEREOF AND THEREOF SHALL NOT IN ANY WAY BE LIABLE FOR, OR WITH RESPECT TO, THE SUFFICIENCY OF THESE PLANS FOR OWNER'S AND/OR ITS CONTRACTORS' OR AGENTS' ACTUAL OR INTENDED USE OR FOR ANY USE WHATSOEVER OR COMPLIANCE WITH ANY APPLICABLE FEDERAL, STATE, OR LOCAL LAW, CODE, RULE, OR ORDINANCE.



SIMPLICITY
BY HAYDEN HOMES

2363 SW GLACIER PLACE
REDMOND, OR 97756
541.923.6607



FLOOR PLAN

SCALE: 1/4" = 1'-0" (24 X 36 SHEET)
SCALE: 1/8" = 1'-0" (11 X 17 SHEET)

FLOOR PLAN

SCALE: 1/4" = 1'-0" (24 X 36 SHEET)
SCALE: 1/8" = 1'-0" (11 X 17 SHEET)

project | client description

BEND, OR

project location

plan name

plan square footage

04.23.20

current as of

FLOOR PLAN

sheet description

DESCRIPTION

BUILDING AREA: 2,223 SQ. FT.

A3

sheet number



NEAL HUSTON
& ASSOCIATES
ARCHITECTS

Neal Huston & Associates Architects
520 SW Powerhouse Drive
Suite 621
Bend, Oregon 97702

CLIENT
Veterans' Village

PROJECT
Veterans' Village

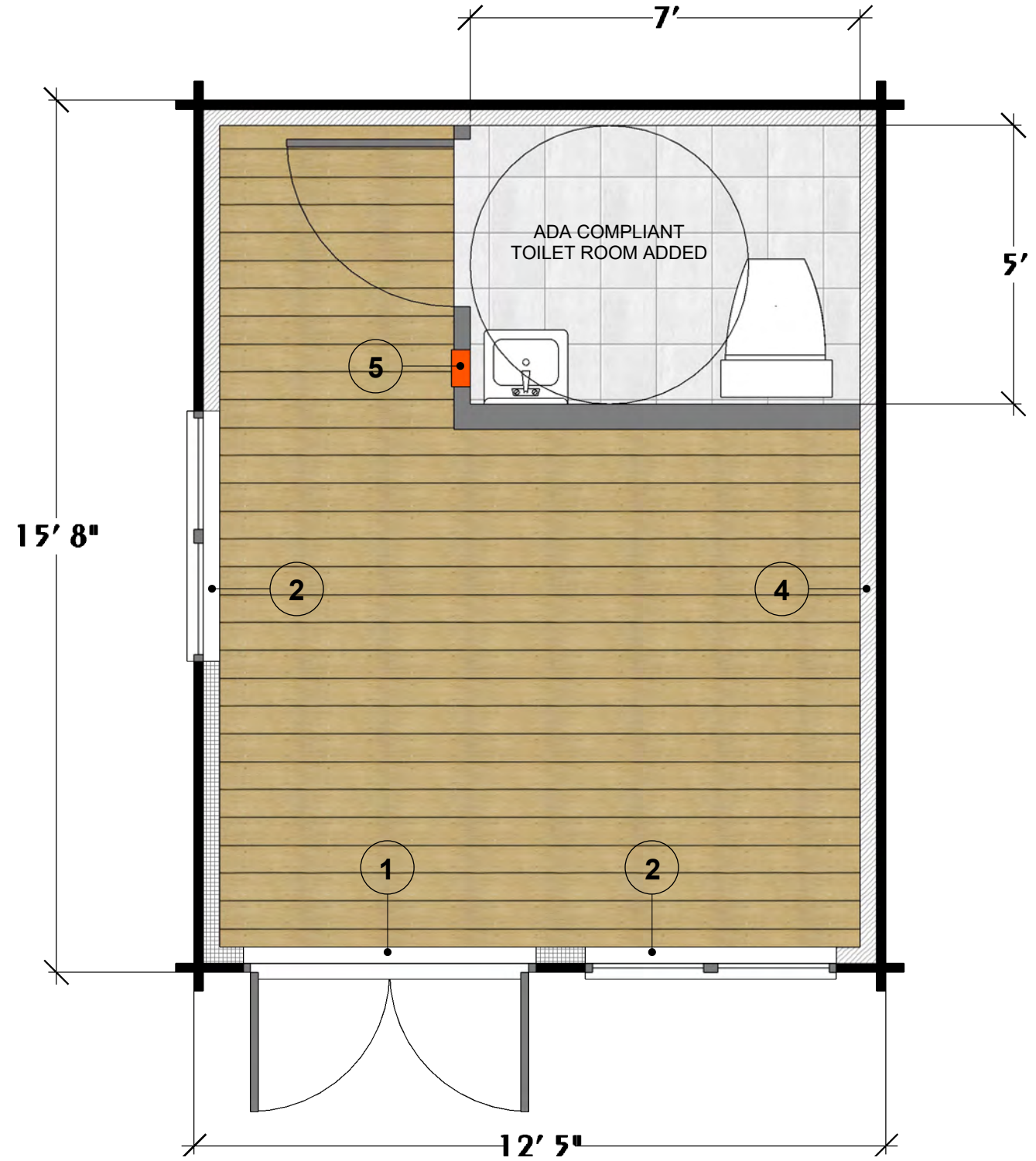
PROJECT NO.
2018

ISSUE
09.04.20

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NGH

SITE PLAN

A.01



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& ASSOCIATES
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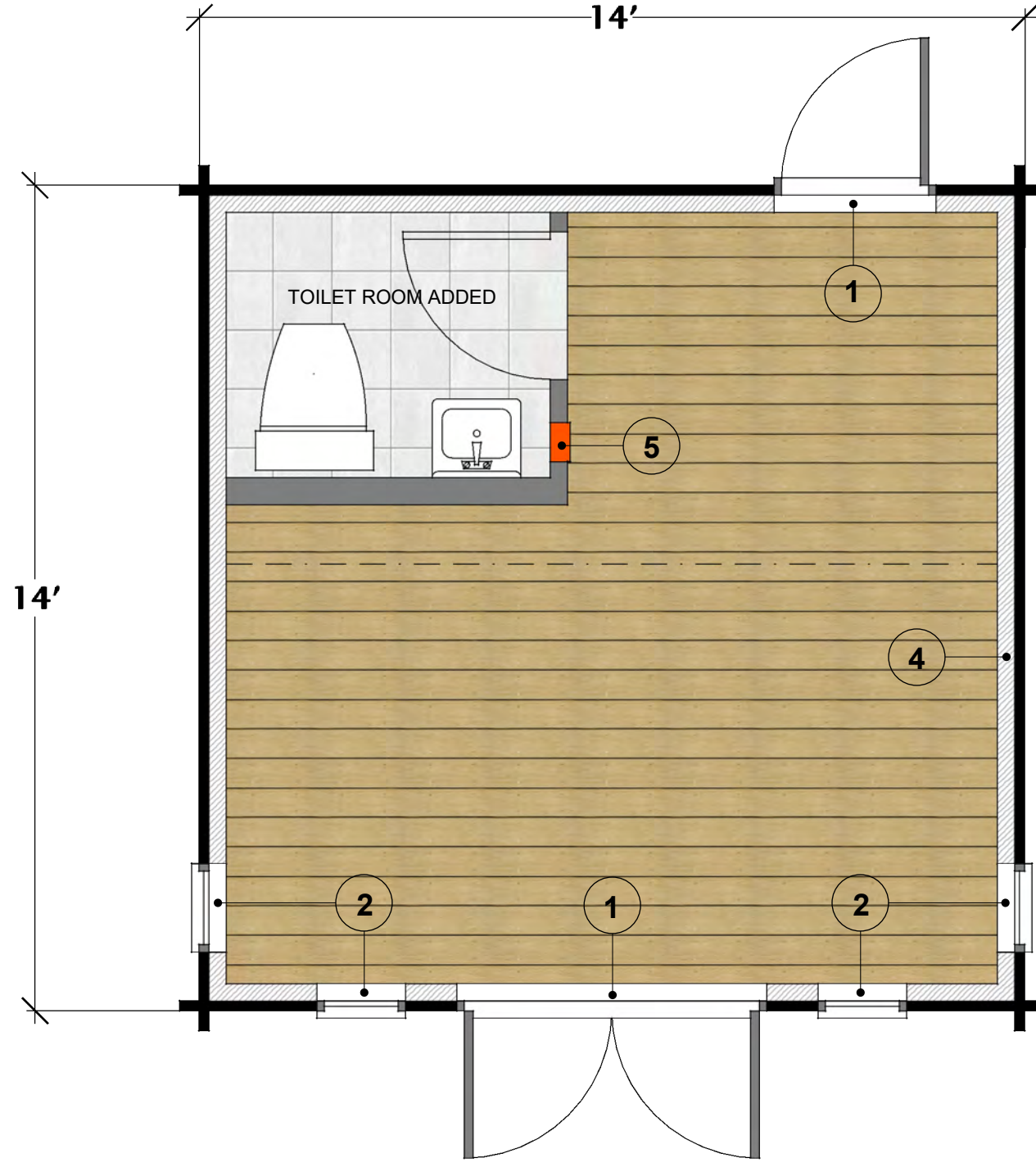
Neal Huston & Associates Architects
520 SW Powerhouse Drive
Suite 621
Bend, Oregon 97702

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Veterans' Village

PROJECT
Veterans' Village
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2018

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09.04.20
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FLOOR PLAN
BACHELOR BUNK HOUSE (A)



NEAL HUSTON
& ASSOCIATES
ARCHITECTS

Neal Huston & Associates Architects
520 SW Powerhouse Drive
Suite 621
Bend, Oregon 97702

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Veterans' Village

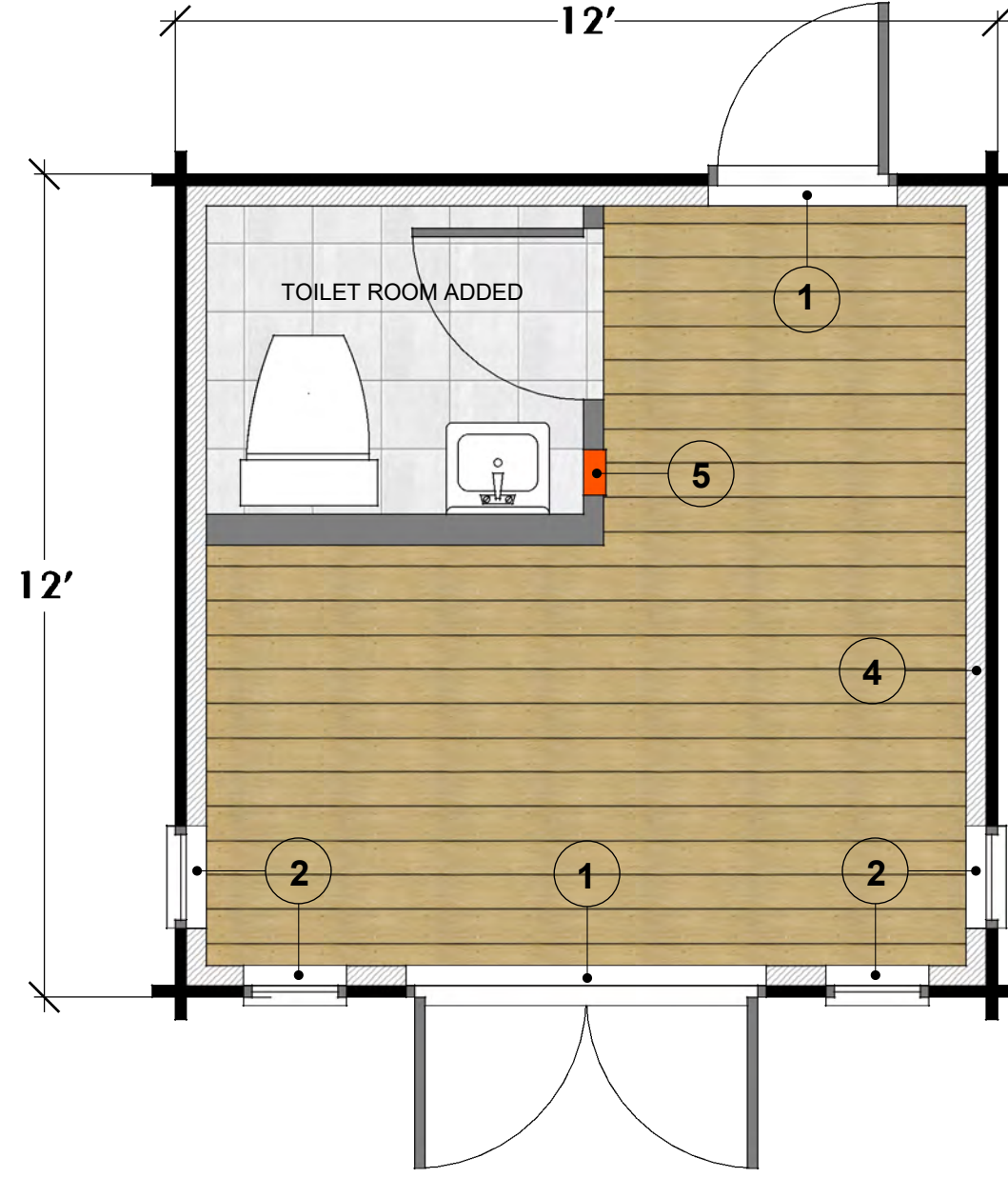
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Veterans' Village

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09.04.20

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FLOOR PLAN
Black Butte Bungalow w/ Loft (B)



NEAL HUSTON
& ASSOCIATES
ARCHITECTS

Neal Huston & Associates Architects
520 SW Powerhouse Drive
Suite 621
Bend, Oregon 97702

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Veterans' Village

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Veterans' Village

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09.04.20

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2018

FLOOR PLAN
BLACK BUTTE BUNGALOW (C)

A.04



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Neal Huston & Associates Architects
520 SW Powerhouse Drive
Suite 621
Bend, Oregon 97702

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Veterans' Village

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Veterans' Village

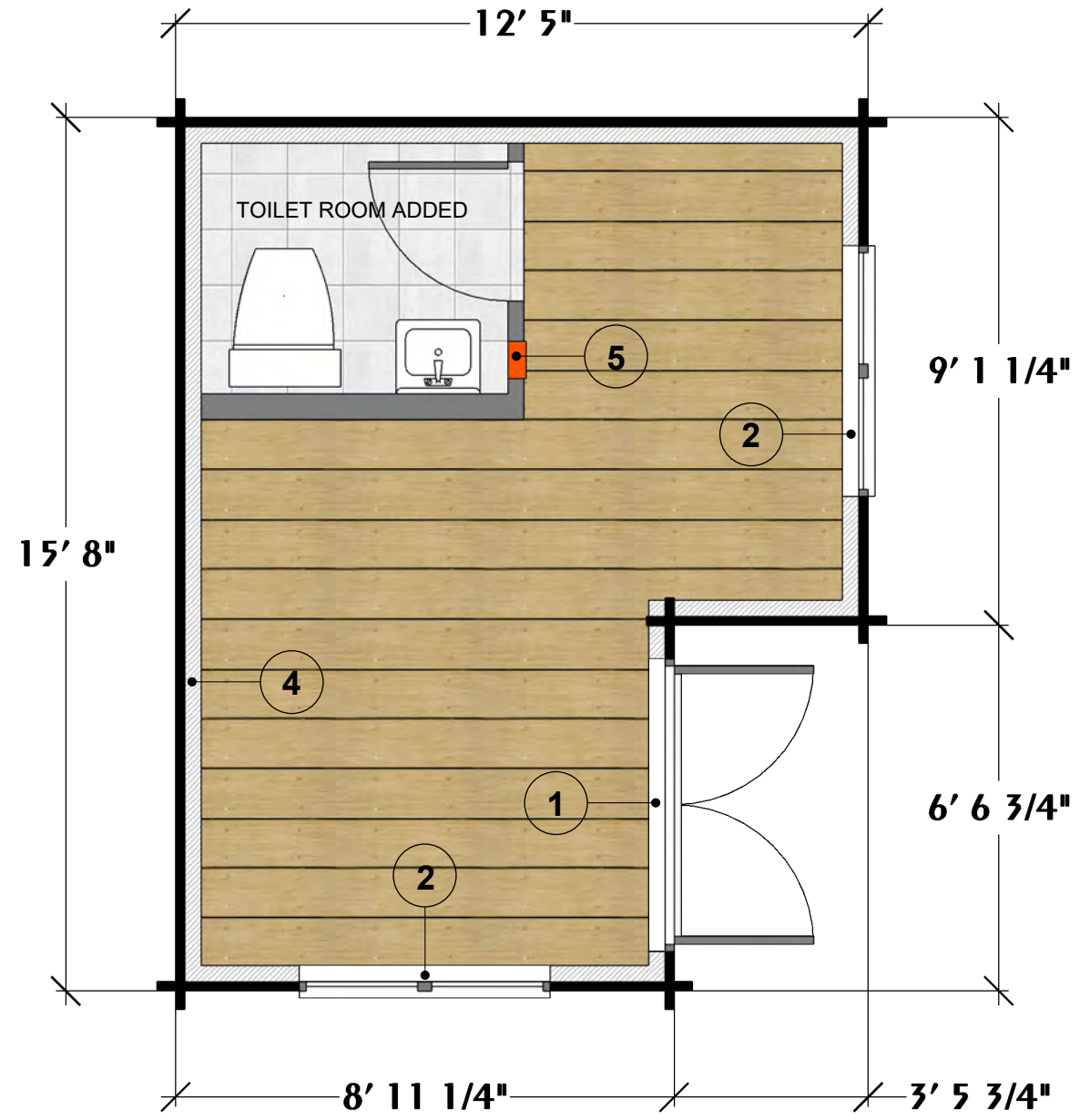
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2018

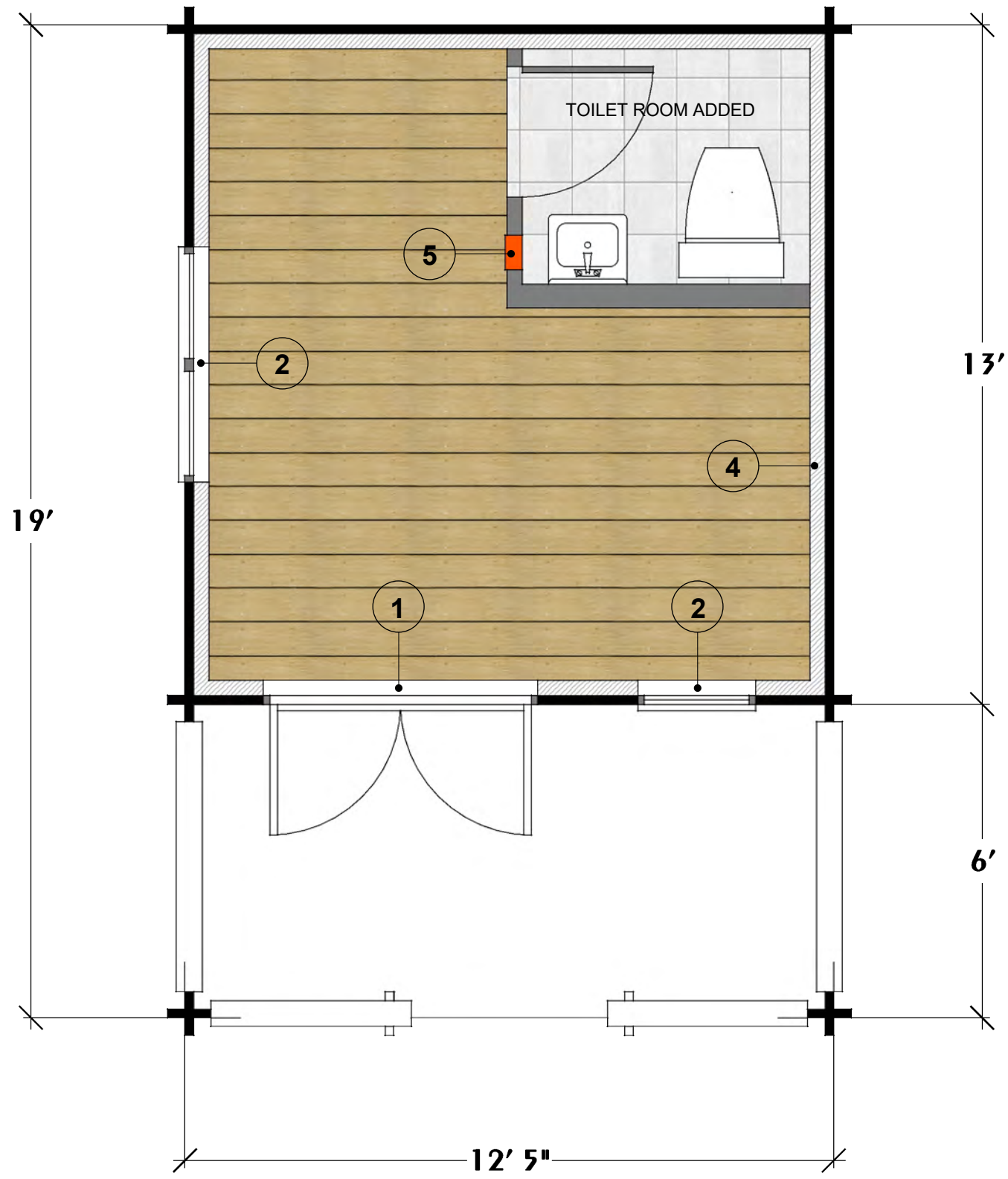
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FLOOR PLAN
CASCADES CABIN (D)

A.05





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& ASSOCIATES
ARCHITECTS

Neal Huston & Associates Architects
520 SW Powerhouse Drive
Suite 621
Bend, Oregon 97702

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Veterans' Village

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Veterans' Village

ISSUE
09.04.20

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PROJECT NO.
2018

FLOOR PLAN
CRATER LAKE COTTAGE (E)

VETERANS' VILLAGE – LIVING UNITS

Conversion Specification

- 1) Existing doors to be replaced. At least one door to be an egress door (32" x 78" minimum) complying with ORSC R311 to be provided.
- 2) Existing Windows to be replaced; safety glazing to be provided in hazardous locations per ORSC R308.
- 3) Smoke detectors and carbon monoxide detectors to be provided per ORSC R314 and R315 respectively.
- 4) Insulation to be provided per ORSC N1101.1(1) and Table N1101.2.
 - Wall Insulation = R-15
 - Flat Ceiling = R-49
 - Vaulted Ceiling = R-21
 - Underfloor = R-25
 - Windows = U-0.30
 - Exterior Doors = R-5
 - Exterior Doors with > 2.5 sf glazing = R-2.5
- 5) Means of heating space to temperature of 68 degrees Fahrenheit 3 feet above the floor and 2 feet from the exterior walls per ORSC R303.9
- 6) Electrical outlets to be provided using the OESC as a guide for spacing requirements.
- 7) Floor framing shall comply with ORSC R317 for protection of wood against decay. Floor framing shall be anchored to the ground per the Manufactured Housing Installation Manual.
- 8) Underfloor plumbing protection shall be provided as required to protect piping from freezing.
- 9) Documentation to be provided by a licensed structural engineer showing how compliance with snow, wind, and seismic provisions of R301.2 will be met. If meeting prescriptive path for a frost protected shallow foundation (concrete, masonry or wood) is not possible, engineered design and analysis to be provided by a licensed structural engineer.



NEAL HUSTON
& ASSOCIATES
ARCHITECTS

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520 SW Powerhouse Drive
Suite 621
Bend, Oregon 97702

CLIENT
Veterans' Village

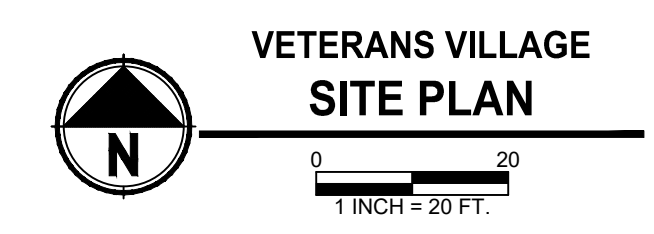
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PROJECT NO.
2018

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CONVERSION
SPECIFICATIONS

A.07

LAYOUT: C:\0-SITE PLAN PATH: U:\Bend\Projects\Clients\Bend Heroes Foundation\6530-Bend Heroes Foundation\297-8530-001 Veterans Village\99Secs\CADD\DWG PLOTTED BY: munsedev DATE: Wednesday, September 02, 2020 1:14:29 PM



BEND HEROES FOUNDATION
VETERANS VILLAGE
BEND, OREGON
DESCHUTES COUNTY, OREGON

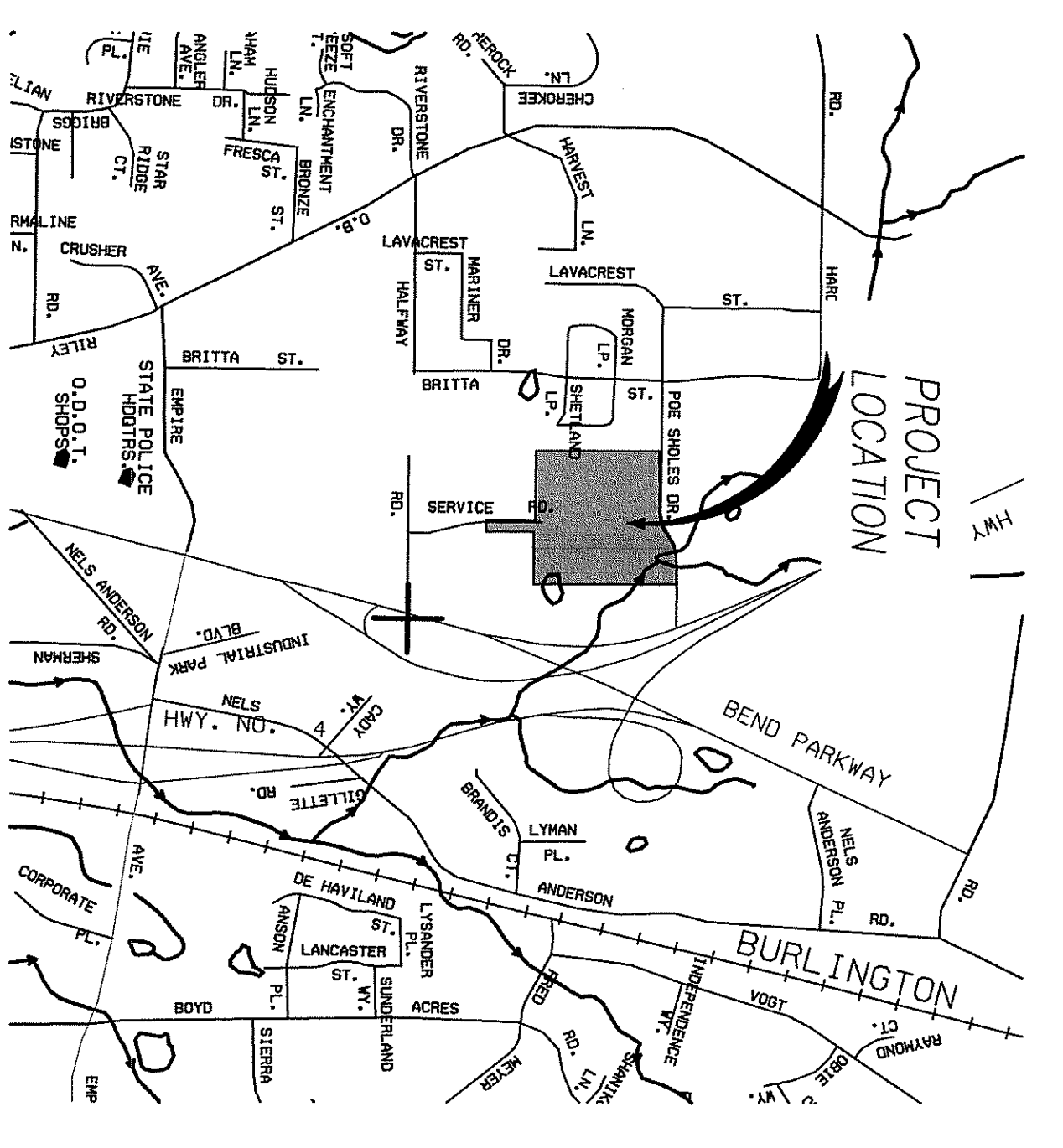
REVISIONS:

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2.	
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Parametrix
ENGINEERING PLANNING ENVIRONMENTAL SCIENCES
150 NW PACIFIC PARK LANE, SUITE 110 | BEND, OR 97701
P 541.588.7710
WWW.PARAMETRIX.COM

DESIGNED BY: DGM
DRAWN BY: DGM
SCALE: AS NOTED
FILE:
DATE: 9/2/20

VERIFY SCALES
0 1"
BAR EQUALS ONE INCH
ON ORIGINAL DRAWING
SHEET:
1



VICINITY MAP
SCALE: 1"=MIS
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CONSTRUCTION PLANS

FOR THE

DESCHUTES COUNTY

PUBLIC SAFETY FACILITY

TAXLOT 609, LOCATED IN TOWNSHIP 17, RANGE 12, SECTION 17,
BUILDING PERMIT #09-855 (OUTBUILDING) & #09-0856 (MAIN BUILDING)
 CITY FILE NUMBER: _____
MAY 2009

GENERAL NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE CITY OF BEND STANDARD SPECIFICATIONS AND REQUIREMENTS, LATEST EDITION.
2. CONTRACTOR SHALL NOTIFY CITY OF BEND (2) WORKING DAYS IN ADVANCE OF STARTING CONSTRUCTION AND SHALL OBSERVE NECESSARY INSPECTIONS THROUGHOUT FINAL CITY/COUNTY APPROVAL.
3. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT AND LOCATE EXISTING UTILITIES AND IMPROVEMENTS.
4. ANY DAMAGE TO EXISTING FACILITIES OR IMPROVEMENTS, RESULTING FROM THE CONTRACTOR'S OPERATION, SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
5. CONTRACTOR SHALL EXPOSE, VERIFY, CONNECT AND/OR PATCH EXISTING UTILITIES AND IMPROVEMENTS, IN CONFORMANCE WITH THE INTENT OF THESE PLANS AND SPECIFICATIONS, TO PROVIDE COMPLETE AND/OR OPERATIONAL SYSTEMS.
6. DURING THE COURSE OF THE WORK, CONTRACTOR SHALL COORDINATE AND ACCOMMODATE OTHER CONTRACTORS OR OPERATIONS OF OWNER.
7. ALL TRENCH BACKFILL SHALL BE CLASS "B" AND COMPACTED TO 95% OF OPTIMUM DENSITY AS DETERMINED BY ASTM D 1557. PIPE OR TUBING BEDDING SHALL BE PLACED/VERIFIED TO A MINIMUM OF 18" BELOW THE BOTTOM OF THE TRENCH. ALL TRENCHES SHALL BE BACKFILLED TO COMPLY WITH CITY OF BEND SPECIFICATION SECTION 401.
8. ALL WATER PIPING SHALL COMPLY WITH CITY OF BEND STANDARD SPECIFICATIONS, DIVISION IV.
9. CONTRACTOR SHALL RESTRICT ALL OPERATIONS TO LIMITS SHOWN ON THESE PLANS. ANY DISRUPTION TO THE OWNER'S OPERATIONS, OUTSIDE OF LIMITS SHOWN ON THESE PLANS, SHALL BE RESTORED AT NO COST TO THE OWNER.
10. CONTRACTOR SHALL BE ADVISED THAT THERE WILL BE CONCURRENT PUBLIC INFRASTRUCTURE CONSTRUCTION AND OPERATIONS AT THIS SITE. CONTRACTOR SHALL COORDINATE WITH AND ACCOMMODATE THESE CONSTRUCTION ACTIVITIES.
11. CONTRACTOR SHALL MARK CURBS AS REQUIRED BY CITY TO LOCATE ALL CONDUITS AND SERVICE LINES.
12. WATERLINES SHALL HAVE A MINIMUM COVER OF 3.0 FEET.
13. ALL UTILITIES SHALL HAVE A MINIMUM 10.0 FEET SEPARATION FROM WATER SERVICE PIPING TO PARALLEL UNDERGROUND UTILITIES.
14. ALL PIPE SHALL BE LAID TO AND MAINTAINED AT THE LINES AND GRADES SHOWN ON THESE DRAWINGS. ALL TRENCHES SHALL BE PROTECTED AND KEPT OPEN FOR EXTENDED TIME PERIODS.
15. ALL REQUIRED EASEMENTS FOR UTILITIES WILL BE FILED AS A PART OF THE APPROPRIATE PLATS.
16. DISINFECTION OF NEW WATER LINES TO CONFORM TO CITY OF BEND SPECIFICATION SECTION 402.3.05. LEAKAGE, HYDROSTATIC AND DISINFECTION TESTING TO COMPLY WITH CITY OF BEND SPECIFICATION SECTIONS 402.23.04 & .06.
17. ALL WORK TO BE PERFORMED ON CITY WATER SYSTEMS TO BE DONE BY A CITY APPROVED CONTRACTOR, AS DEFINED BY CITY STANDARD SPECIFICATIONS.
18. CITY ENGINEER'S SIGNATURE DOES NOT CONSTITUTE APPROVAL OF FACILITIES PROPOSED ON PRIVATE PROPERTY. SEPARATE PERMITS ISSUED BY THE BUILDING DEPARTMENT ARE REQUIRED AND OBTAINED BY THE DEVELOPER FOR FACILITIES LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY.
19. ANY WORK WITHIN EXISTING PUBLIC RIGHT-OF-WAY OR DEDICATED CITY EASEMENTS REQUIRES A SEPARATE RIGHT-OF-WAY/EASEMENT PERMIT OBTAINED FROM THE CITY ENGINEERING DIVISION.
20. THIS PROPERTY IS SUBJECT TO ALL EASEMENTS, RESTRICTIONS, AND RIGHT-OF-WAYS OF RECORD AND THOSE COMMON AND APPARENT ON THE LAND.
21. SAW CUT WORK IN EXISTING PAVEMENT AREAS TO BE PATCHED PER CITY STANDARD SPECIFICATION DIVISION II, SECTIONS 206, 207 & 211 & DIV 2-10.
22. ALL CONSTRUCTION SHALL CONFORM TO STATE AND FEDERAL STANDARDS REGARDING ACCESSIBILITY TO PEOPLE WITH DISABILITIES.
23. ALL ADA ACCESSIBLE STALL SPACES TO HAVE A MAXIMUM SLOPE OF 2.0% IN ANY DIRECTION, THIS ALSO APPLIES TO SIDEWALK CROSS SLOPES.
24. ADA ITEMS THAT ARE FOUND TO BE NON-COMPLIANT WITH ACCESSIBILITY STANDARDS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR/REPLACE AS REQUIRED TO CONFORM WITH LOCAL, STATE, AND FEDERAL ACCESSIBILITY REQUIREMENTS.
25. CONSTRUCT HANDICAPPED RAMPS WITH DIAMOND PATTERN DETECTABLE WARNING OPTION PER CITY OF BEND ADA ON-SITE BUILDINGS CODE REQUIREMENTS. RAMPS SHALL CONFORM WITH LOCAL, STATE, AND FEDERAL ACCESSIBILITY REQUIREMENTS FOR PEOPLE WITH DISABILITIES.
26. INSTALL POST MOUNTED HANDICAPPED SIGNAGE AT ALL ACCESSIBLE PARKING LOCATIONS. THE SIGN SHALL BE PLACED SO AS NOT TO BE OBLSCURED BY A VEHICLE IN THE SPACE. THERE SHALL BE WORDS IN AT LEAST ONE INCH HIGH LETTERS. PARKING WITH DOW DISABLED PERMIT ONLY. VIOLATORS SUBJECT TO TOWING UNDER ORS 811.620 AND A FINE UP TO \$450 UNDER ORS 811.615. ALSO SEE DWG AP003
27. SITE AND SUBGRADE PREP. SHALL BE PER GEOTECHNICAL REPORT BY PSI DATED, APRIL 9, 2009.
28. SLOPE GRASSES AND SODS SHALL BE PLANTED TO POSITIVELY DRAIN AWAY FROM BUILDING, MINIMUM SLOPE 1.5% UNLESS NOTED OTHERWISE ON DRAWINGS.
29. HORIZONTAL AND VERTICAL CONTROLS SHOWN ON PLANS SHALL BE LOCATED USING CENTRAL OREGON COORDINATE SYSTEM.
30. ALL CONCRETE SIDEWALKS, DRIVEWAYS AND CURBING WORK TO COMPLY WITH CITY STANDARD SPECIFICATION DIVISION II, SECTIONS 213, 216 AND CITY STANDARD DWGS 2-5, 2-3

WHPACIFIC, INC

1231 SHORELINE LANE
 BOISE, IDAHO 83702
 PHONE: (208) 344-6677
 FAX: (208) 344-6002
 ATTN: RUSSELL MORSEDAVP

LCA ARCHITECTS, P.A.

1221 SHORELINE LANE
 BOISE, IDAHO 83702
 PHONE: (208) 344-6677
 FAX: (208) 344-6002
 ATTN: RUSSELL MORSEDAVP

OWNER

DESCHUTES COUNTY
 PLANNING AND ZONING DEPARTMENT
 1000 W. BEND AVENUE
 BEND, OREGON 97701
 ATTN: BILLY WOOD

GRADING NOTES:

1. ALL GRADING AND CLEARING SHALL CONFORM TO THE CITY OF BEND GRADING/CLEARING ORDINANCE (NS-1879).
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION, DRAINAGE AND DUST CONTROL DURING CONSTRUCTION. TEMPORARY CONTROLS SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL FILLS AND GRADED SLOPES ARE STABILIZED.

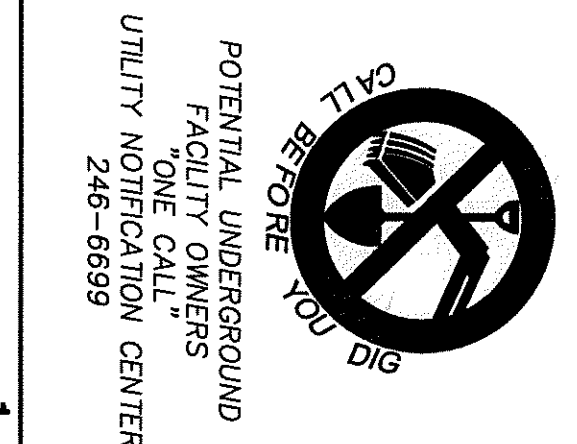
CITY QUANTITY ESTIMATE	UNITS	QUANTITY
6" DI WATER MAIN	LF	9
8" DI WATER MAIN	LF	289
6" DI FIRE WATER SERVICE	LF	1173
NEW FIRE HYDRANT ASSEMBLIES	EA	2
6" PVC, PIV. BACKFLOW WITH VALVE	EA	1
3" DOMESTIC WATER SERVICE METER WITH VALVE	EA	1
1 1/2" IRRIGATION SERVICE WITH METER AND BACKFLOW	EA	1
4" FORCED MAIN SERVICE	LF	597
6" PVC SEWER SERVICE	LF	250
4" PVC SEWER SERVICE	LF	195
SANITARY SEWER SAMPLING MANHOLE	EA	1

FIRE FLOW ANALYSIS DATA:	
ELEVATION	3518.00'
ESTIMATED STATIC PRESSURE	70.69 PSI
ESTIMATED RESIDUAL PRESSURE	59.72 PSI
ESTIMATED TOTAL FLOW AVAILABLE	3,500 GPM

SHEET NUMBER	SHEET TITLE
C00	COVER SHEET
C10	SITE PLAN
C20	SITE UTILITY PLAN
C21	UTILITY PROFILES
C30	GRADING PLAN
C31	DRAINAGE PLAN
C40	DETAILS
L00	LANDSCAPE COVER
L10	LANDSCAPE PLAN
R10	IRRIGATION NOTES AND DETAILS

LEGEND:

	EXISTING	PROPOSED
WOOD FENCE	—	N/A
CHAIN LINK FENCE	—	N/A
BARB-WIRE FENCE	—	N/A
JOINT UTILITY TRENCH	—	N/A
UNDERGROUND GAS LINE	—	N/A
4" FORCE MAIN	—	N/A
4" SANITARY SEWER	—	N/A
6" SANITARY SEWER	—	N/A
MANHOLE	—	N/A
PUMP STATION	—	N/A
1 1/2" WATER LINE	—	1-1/2"
3" WATER LINE	—	3"
6" FIRE SERVICE LINE	—	6"
8" WATER LINE	—	8"
12" WATER LINE	—	12"
WATER METER	—	N/A
GATE VALVE	—	N/A
BUTTERFLY VALVE	—	N/A
FIRE DEPARTMENT CONNECTION	—	N/A
POST INDICATOR VALVE (PIV)	—	N/A
FIRE HYDRANT	—	N/A
DRAINAGE SWALE	—	N/A



POTENTIAL UNDERGROUND UTILITY NOTIFICATION CENTER
 ONE CALL
 248-6899

ATTENTION:

OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE AVAILABLE AT WWW.ONECALL.ORG OR BY CALLING ONE CALL AT 248-6899. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503)252-1987).

DESCHUTES COUNTY
PUBLIC SAFETY FACILITY
COVER SHEET

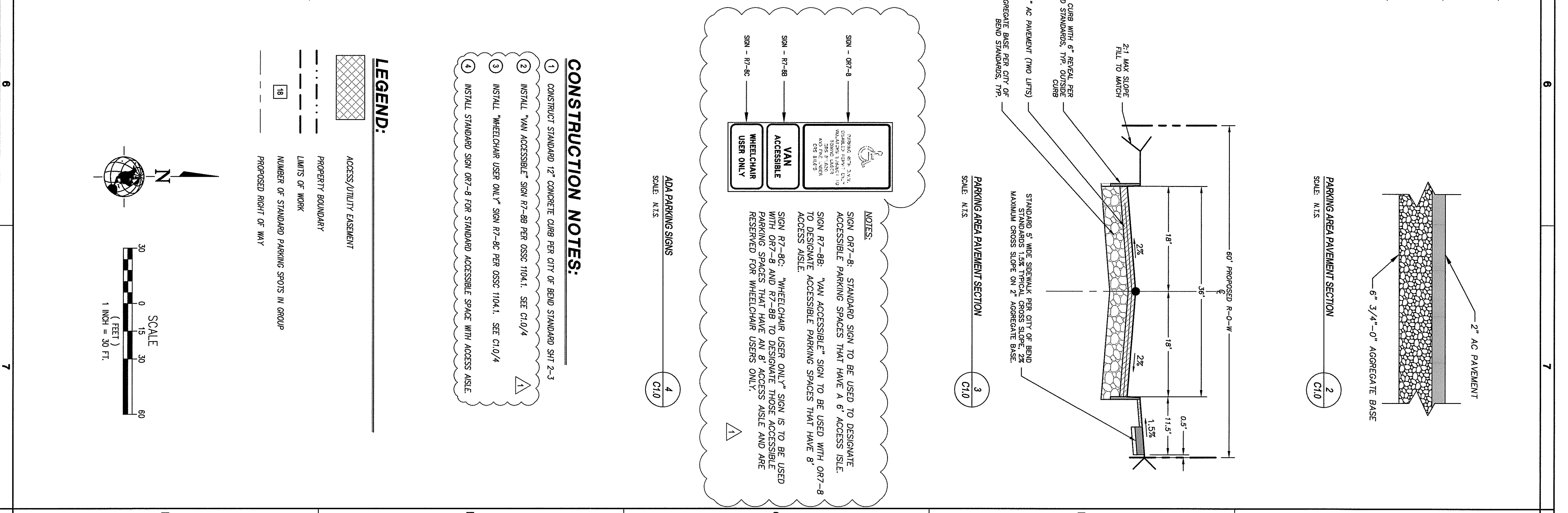
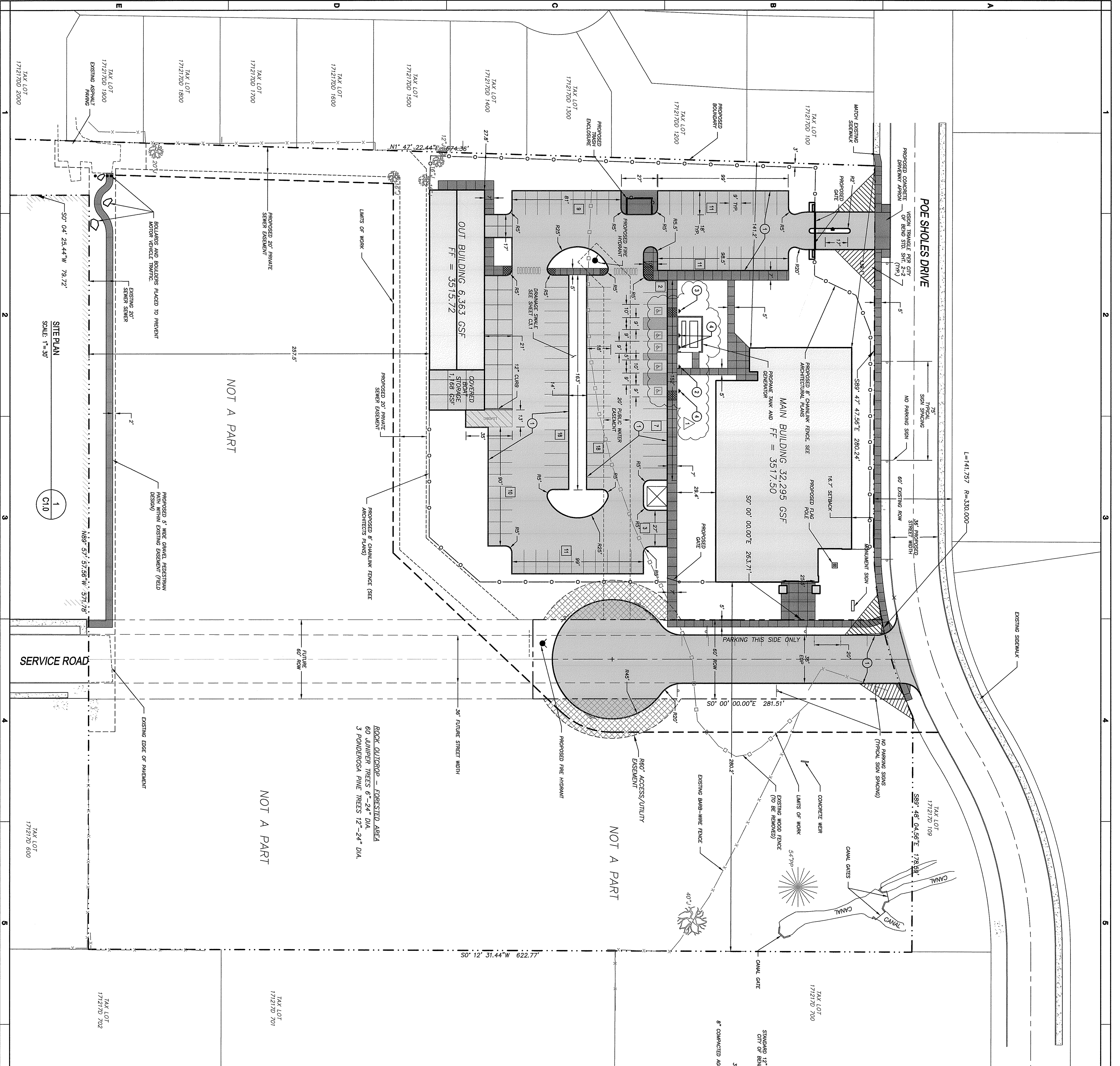
WHPacific
 ARCHITECTURE - PLANNING - INTERIOR DESIGN
 1221 Shoreline Lane
 Boise, Idaho 83702
 PHONE: (208) 345-6677 - FAX: (208) 344-9002

LCA Architects, P.A.
 ARCHITECTURE - PLANNING - INTERIOR DESIGN
 1221 Shoreline Lane
 Boise, Idaho 83702
 PHONE: (208) 345-6677 - FAX: (208) 344-9002

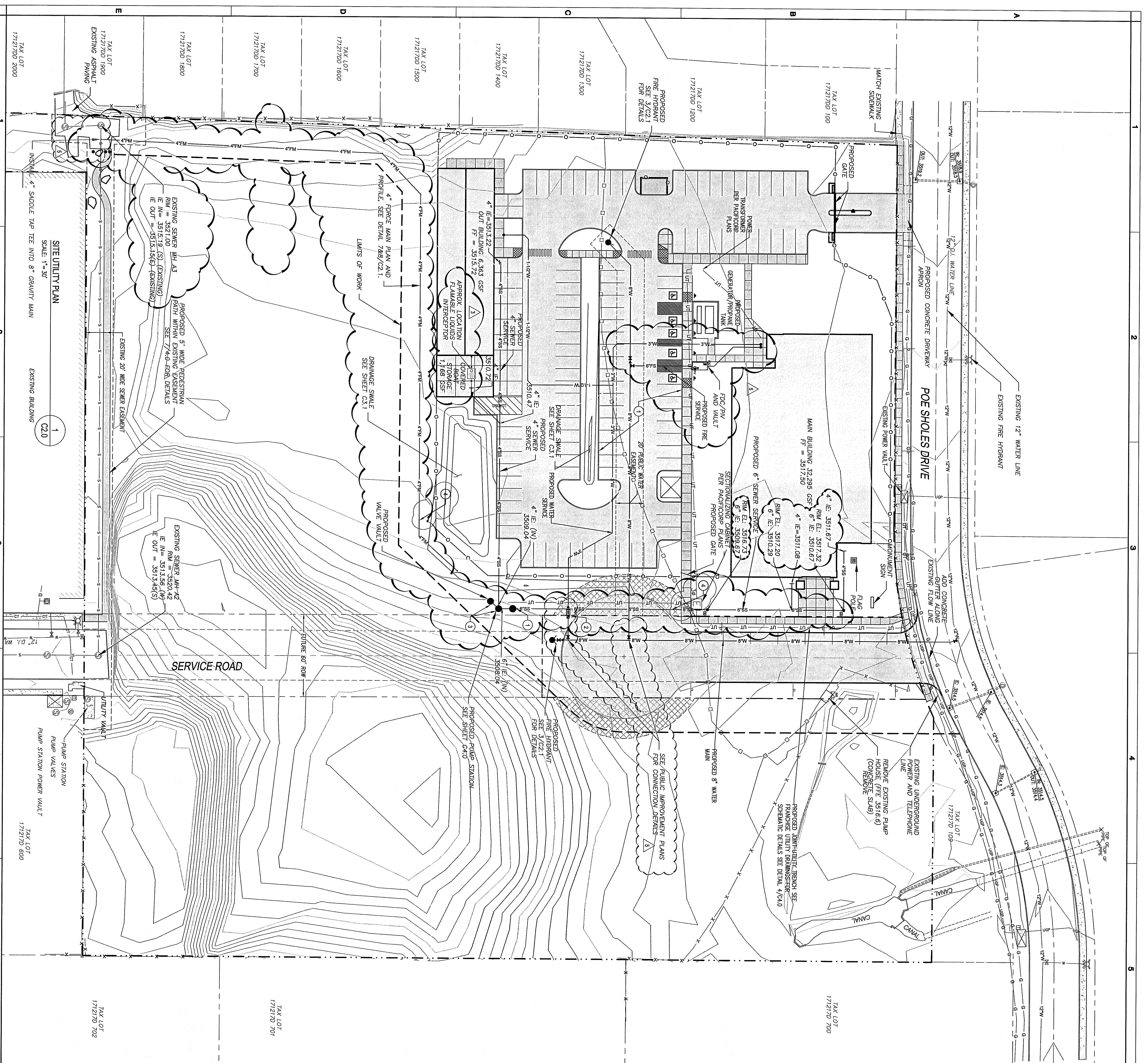
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 DATE: 04/13/09
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SHEET NO. C0.0

MRK DATE DESCRIPTION

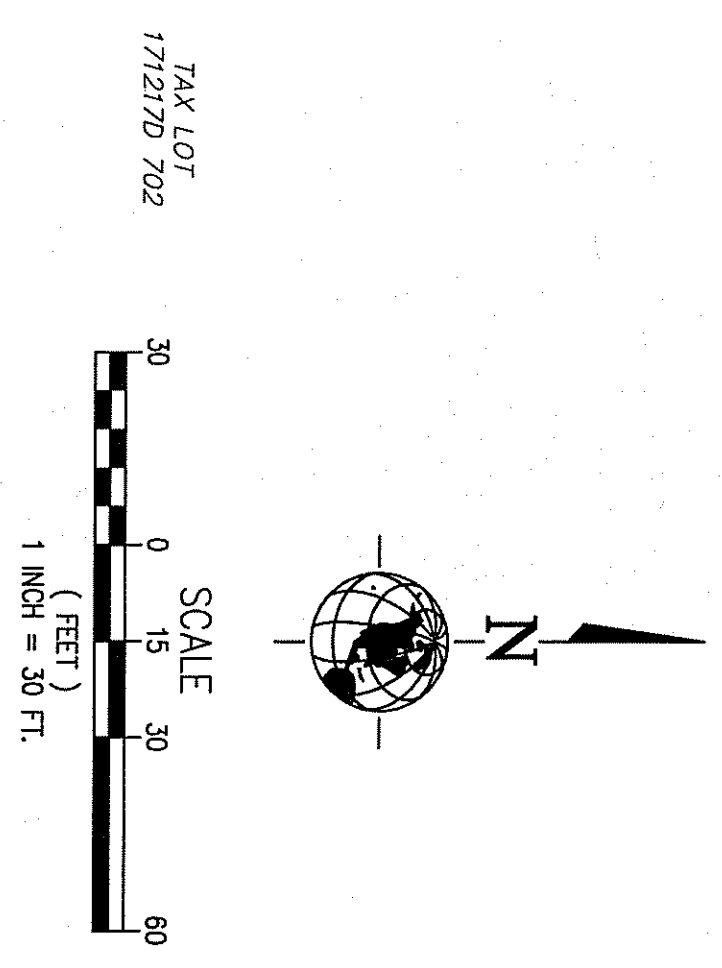
MRK DATE DESCRIPTION



100% REVISION C1.0	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>MRK</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	MRK	DATE	DESCRIPTION							<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>MRK</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	MRK	DATE	DESCRIPTION							<h2 style="margin: 0;">DESCHUTES COUNTY PUBLIC SAFETY FACILITY SITE PLAN</h2>			<p style="font-size: small;"> LCA Architects, P.A. ARCHITECTURE - PLANNING - INTERIOR DESIGN 1221 Shoreline Lane Boise, Idaho 83702 PHONE: (208) 345-6677 - FAX: (208) 344-9002 COPYRIGHT 2008 All rights reserved. Reproduction or use in any form or by any means - graphic, electronic, mechanical, etc. - without written permission of LCA ARCHITECTS, P.A. is prohibited and subject to criminal prosecution. </p>
MRK	DATE	DESCRIPTION																						
MRK	DATE	DESCRIPTION																						



- CONSTRUCTION NOTES:**
- 1 SOURCE MATERIALS SEE NOTE 57 ON C2.1
 - 2 INSTALL WATER METER AND BACKFLOW DEVICE SEE OFFICE PUBLIC UTILITY PLANS
 - 3 INSTALL PUMP STATION AND VALVE VAULT SEE DETAIL TAB OF C&D
 - 4 GRANTY SEWER SERVICE FROM BUILDINGS TO MET WELL TO BE 3004 30035 P/C SEWER PIPE

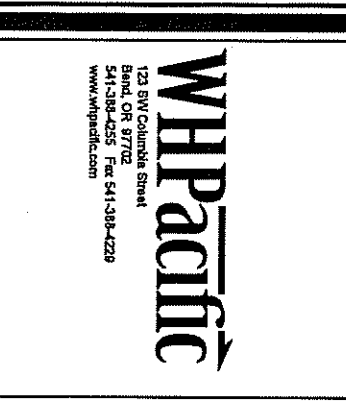
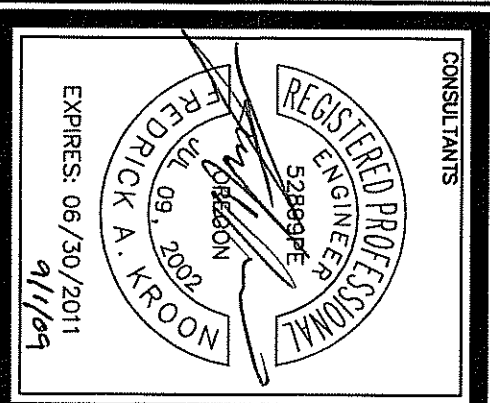


TAX LOT 1712170 202
TAX LOT 1712170 201
TAX LOT 1712170 700

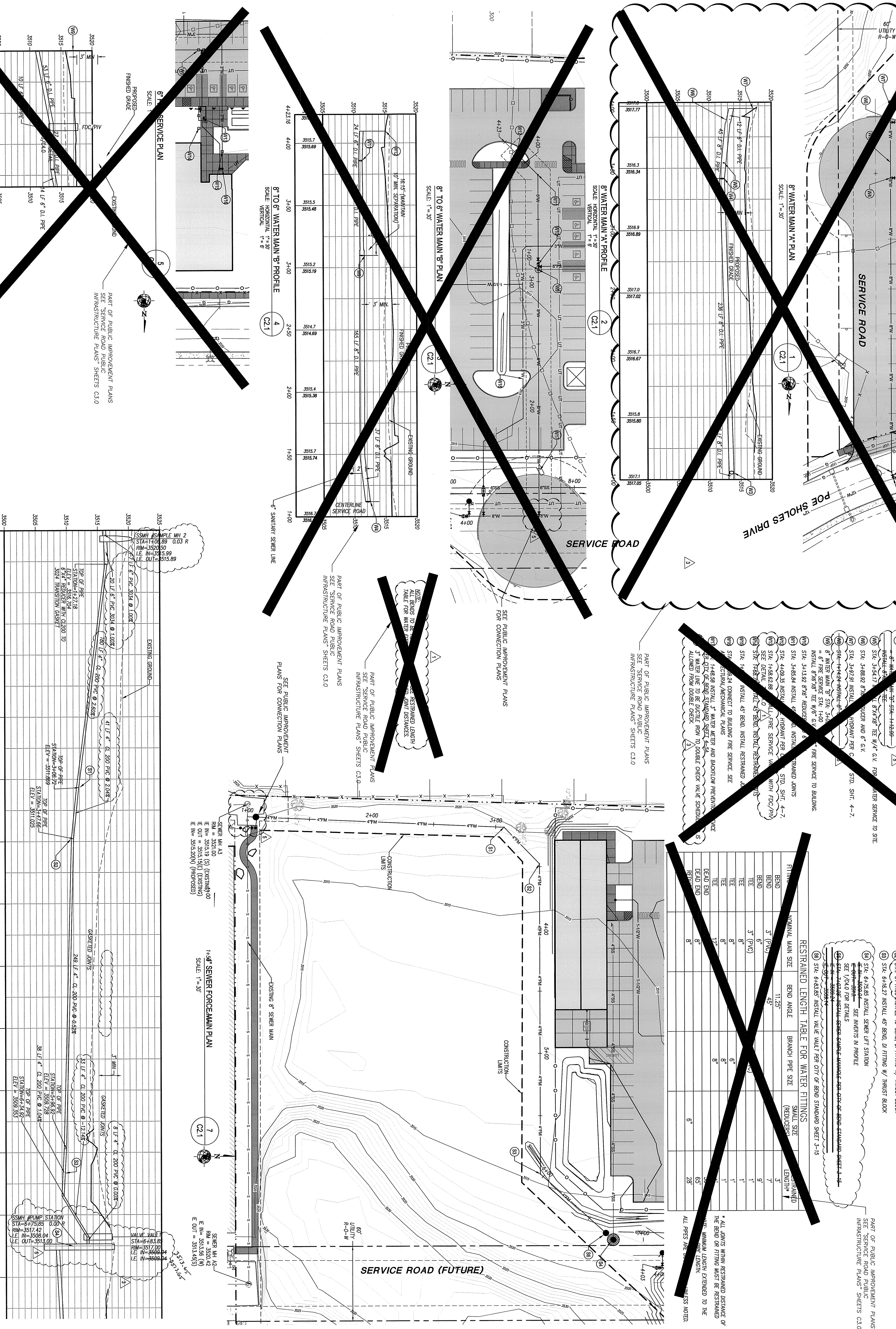
MRK	DATE	DESCRIPTION	MRK	DATE	DESCRIPTION
1	06/01/09	PLAN REVIEW REV./ADDENDUM #3			
2	08/28/09	PLAN REVIEW REV./ADDENDUM #5			

DESIGN NO. 082778
DRAWN BY: J. L. BRYAN
CH'D BY: J. L. BRYAN
SHEET NO. C2.0
TOTAL SHEETS 100

**DESCHUTES COUNTY
PUBLIC SAFETY FACILITY
SITE UTILITY PLAN**



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MRK	DATE	DESCRIPTION	MRK	DATE	DESCRIPTION
1	05/12/09	PLAN REVIEW REV./ADDENDUM #1			
2	06/01/09	PLAN REVIEW REV./ADDENDUM #3			
3	08/28/09	PLAN REVIEW REV./ADDENDUM #5			
4	10/02/09	ADD ELEVATIONS & ADJUSTMENTS, ASI			

DESCHUTES COUNTY

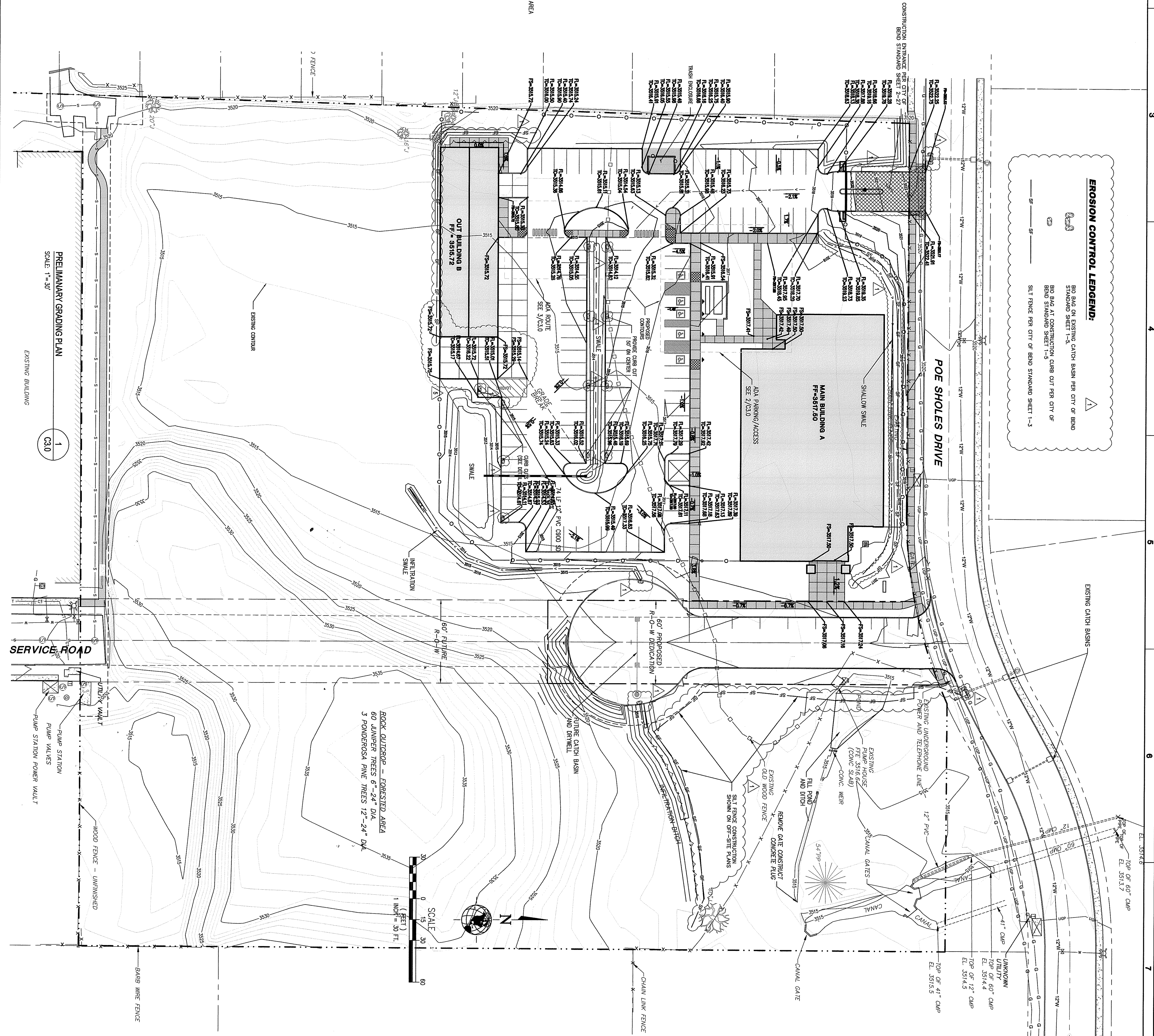
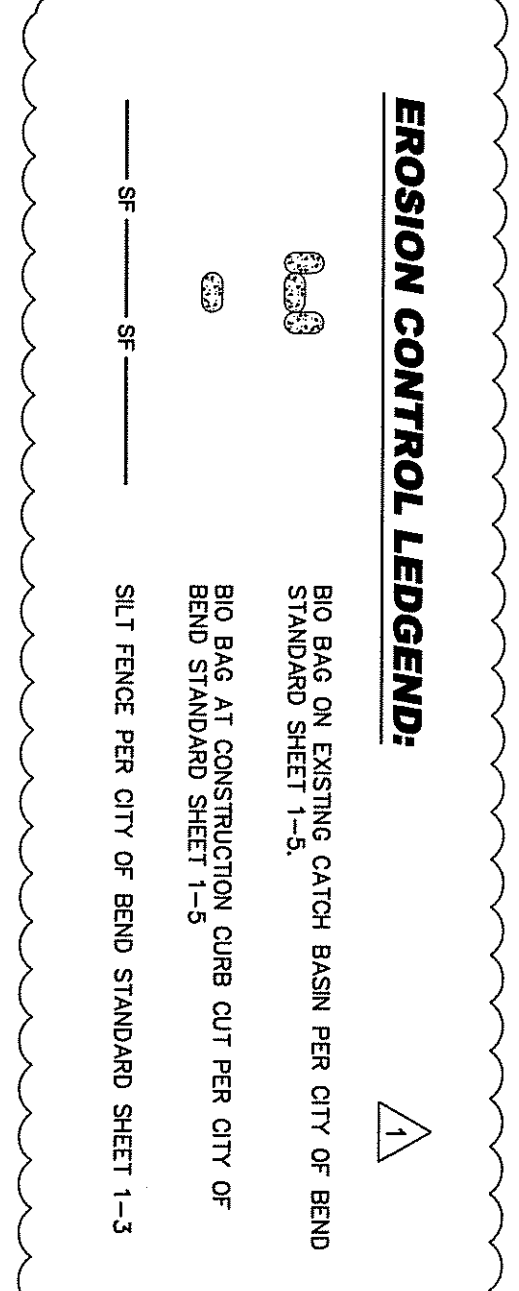
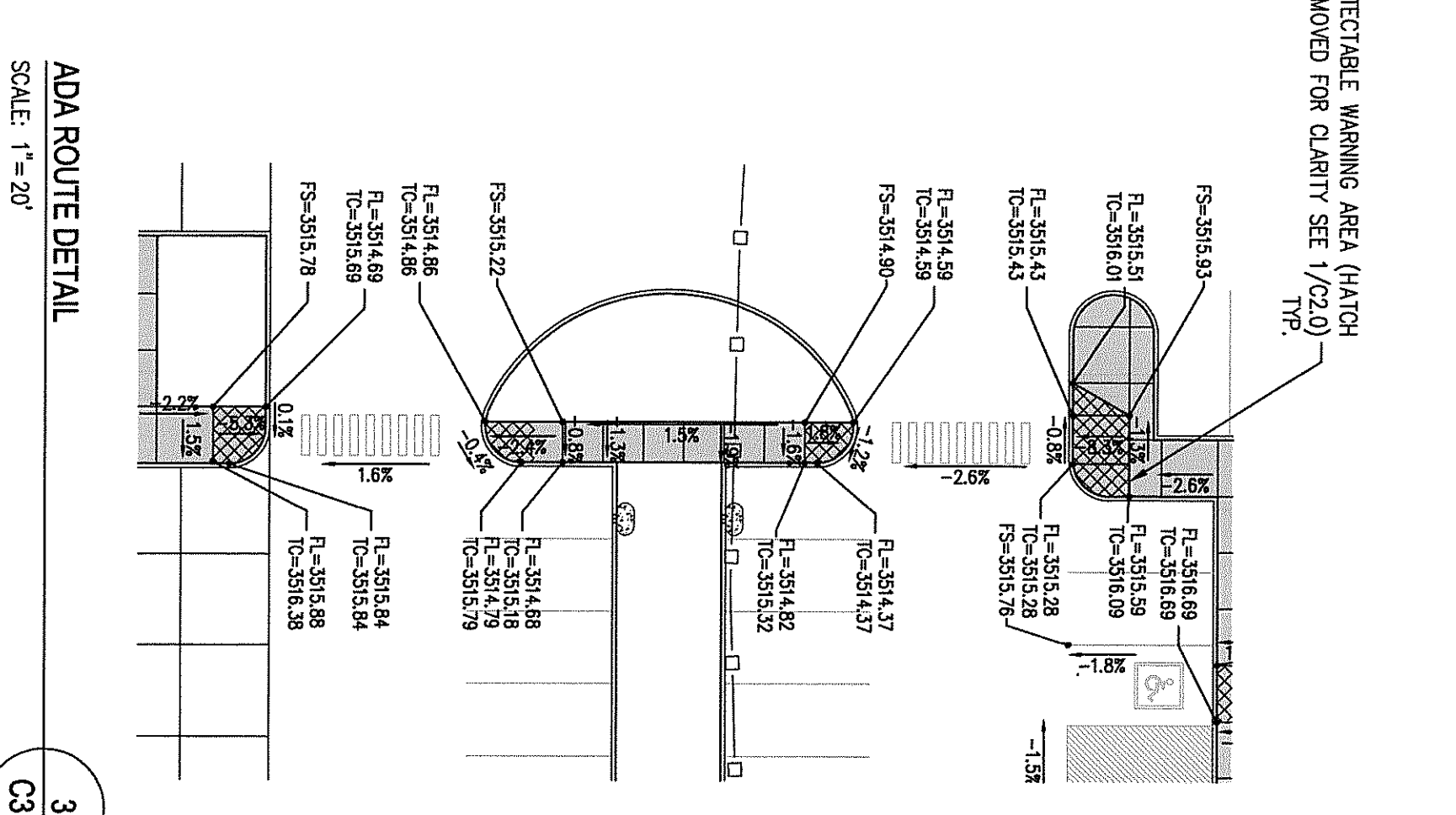
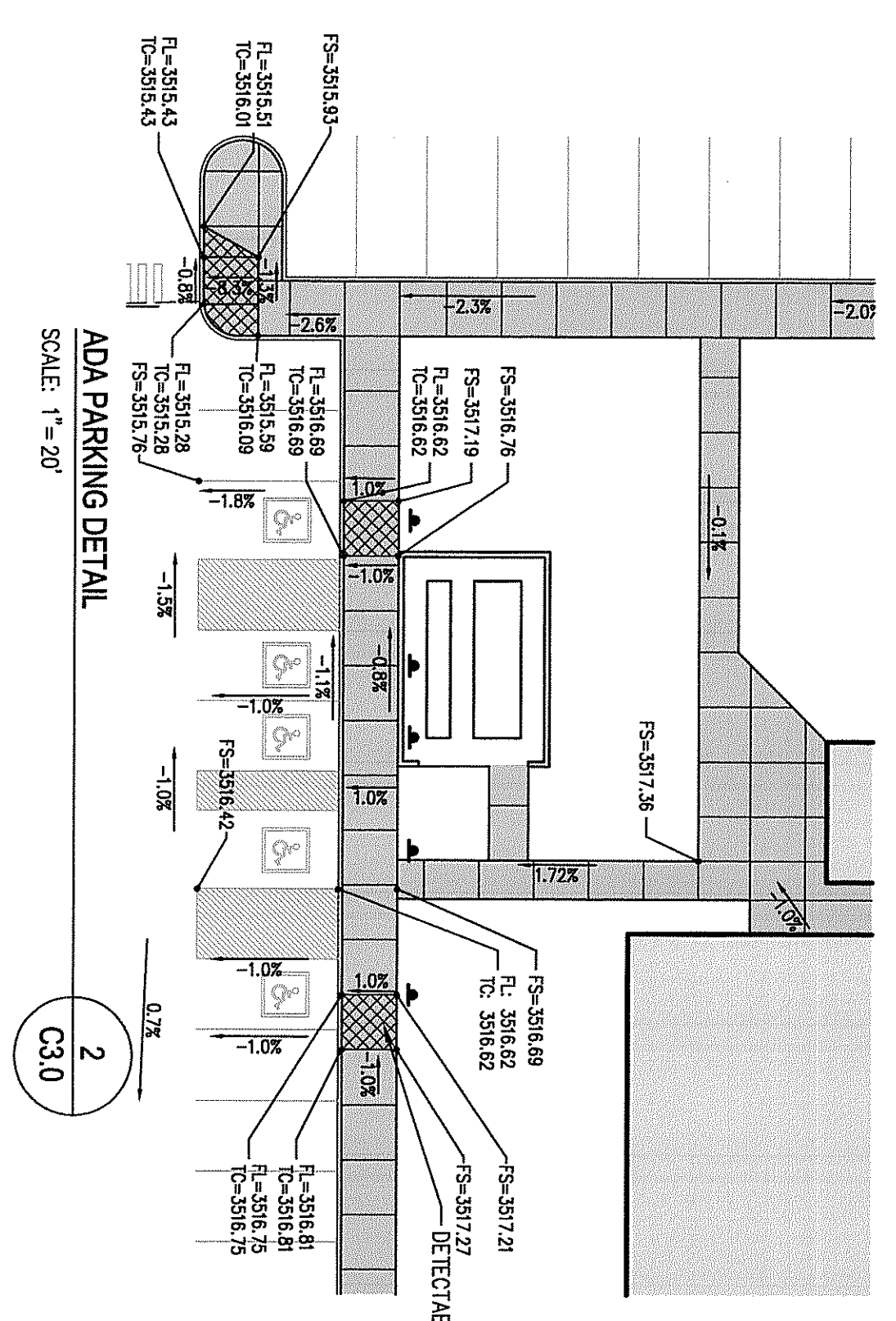
PUBLIC SAFETY FACILITY

UTILITY PLANS & PROFILES

1221 Short Boise, Idaho 83725
 PHONE: (208) 345-6677

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- GENERAL NOTES:**
1. THIS GRADING PERMIT IS FOR PRELIMINARY ON-SITE ROUGH GRADING IN AREAS TO BE EXCAVATED FOR CONSTRUCTION OF THIS GRADING PERMIT. THE ROW IS NOT PART OF THE PERMIT. ROAD IMPROVEMENTS ADJACENT TO THE SITE ARE CURRENTLY BEING DESIGNED AND WILL BE SUBMITTED SEPARATELY TO THE CITY OF BEND.
 2. PROPOSED GRADING WILL CREATE AREAS GREATER THAN 20% IN THE CATCH SLOPE.
 3. ALL TREES SHOWN TO BE SAVED SHALL BE PROTECTED PER CITY OF BEND STANDARD DETAIL 1-2.
 4. ALL PROPOSED CONTROLS AND SOFT ELEVATIONS SHOWN ARE TO PRELIMINARY FINISH GRADE. CONTRACTOR TO ADJUST GRADES AS REQUIRED FOR ROUGH GRADES.
- GRADING / EROSION CONTROL NOTES:**
1. ALL GRADING/CLEARING SHALL CONFORM TO THE CITY OF BEND GRADING/CLEARING ORDINANCE (NS-1879).
 2. NO COMPRESSIBLE (CLAY) SOILS ARE KNOWN TO EXIST ON THIS SITE. ON-SITE SOIL CAN BE USED FOR SUBBASE IN PARKING AREAS.
 3. SURPLUS MATERIAL FROM ROAD EARTHWORK IS TO BE USED AS ON-SITE FILL.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION, DRAINAGE, AND DUST CONTROL DURING CONSTRUCTION. ALL DRAINAGE TO REMAIN ON-SITE AND WILL BE ROUTED, PUMPED, OR PIPED TO INFILTRATION PONDS.
 5. ON PRIVATE PROPERTY, ANY CUT SLOPE EXCEEDING 2:1, ANY FILL SLOPE EXCEEDING 2:1, OR ON APPROVAL OF THE CITY OF BEND ENGINEERING DIVISION.
 6. ALL GRADED SLOPES SHALL BE STABILIZED/REVEGETATED WITHIN 30 DAYS, OR SOONER, OF FINAL GRADING.
 7. ALL FINAL GRADING & DRAINAGE REQUIREMENTS SHALL BE MET BEFORE APPROVAL OF FINAL CERTIFICATE OF OCCUPANCY.
 8. MAXIMUM SLOPE IS 0.5:1 IN ROCK UNLESS PRIOR APPROVAL BY THE CITY OF BEND ENGINEERING IS OBTAINED. AREA TO OBTAIN FILL MATERIALS SHALL BE APPROVED BY THE CURRENT OSHA EXCAVATION REQUIREMENTS.
 9. ALL AREAS TO RECEIVE FILL SHALL BE CLEARED AND GRUBBED IN ACCORDANCE WITH SECTION 206 OF THE BEND GRADING PERMIT. CONTRACTOR TO OBTAIN APPROVAL OF THE CITY OF BEND ENGINEERING FOR PUBLIC WORKS CONSTRUCTION, UNLESS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER.
 10. DUST CONTROL: THE CONTRACTOR SHALL APPLY SUFFICIENT WATER DURING EARTHWORK/GRADING OPERATIONS FOR DUST CONTROL. A WATER TRUCK CAPABLE OF APPLYING WATER SHALL BE ON-SITE AT ALL TIMES DURING EARTHWORK/GRADING WORK.
 11. STRUCTURAL FILL MATERIAL SHALL MEET THE REQUIREMENTS OF THE GEOTECHNICAL REPORT, AND SHALL BE PLACED AND COMPACTED AS RECOMMENDED IN THE GEOTECHNICAL REPORT, PREPARED BY PROFESSIONAL SERVICE INDUSTRIES, INC. APRIL 9, 2009.



MRK	DATE	DESCRIPTION	MRK	DATE	DESCRIPTION
1	05/12/09	PLAN REVIEW REV./ADDENDUM #1			
2	09/01/09	PLAN REVIEW REV. PER CITY COMMENTS			

JOB NO.: 035476
 DATE: 9/1/09
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 SHEET NO.: C3.0

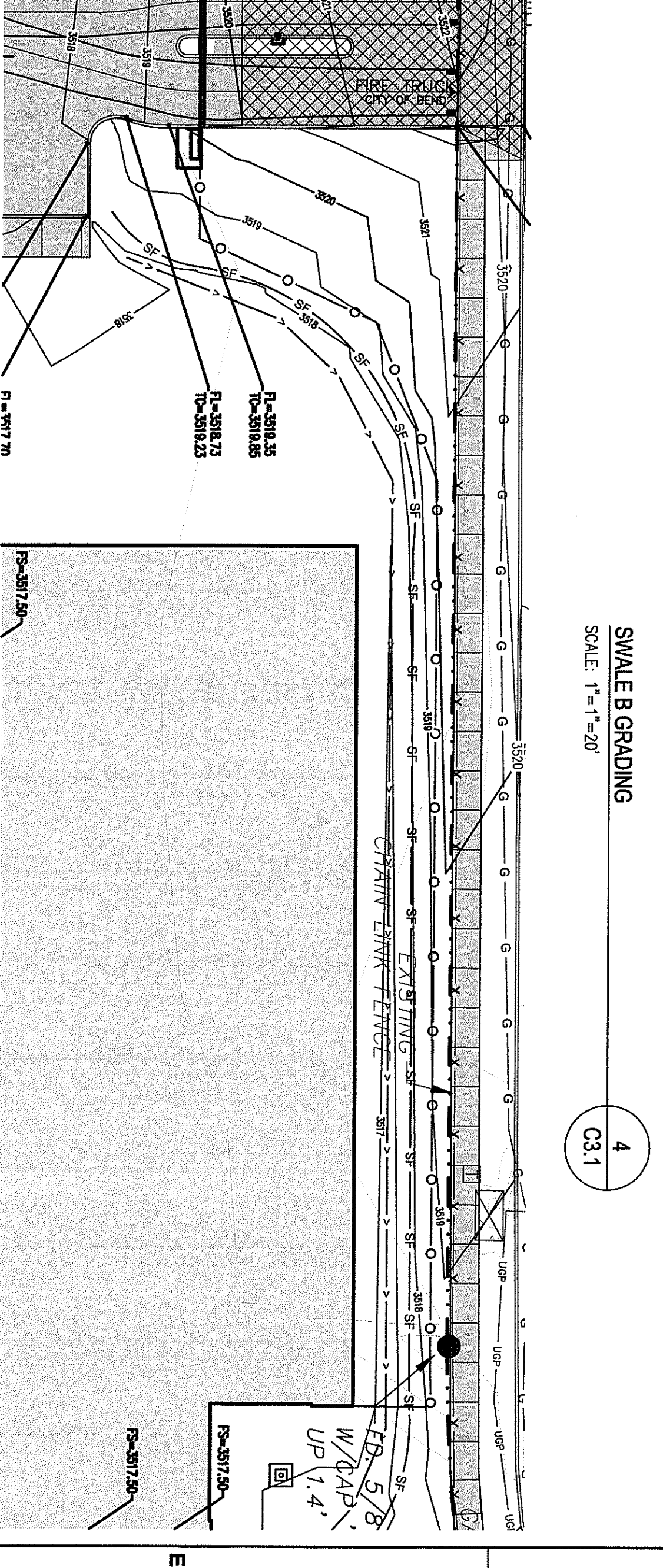
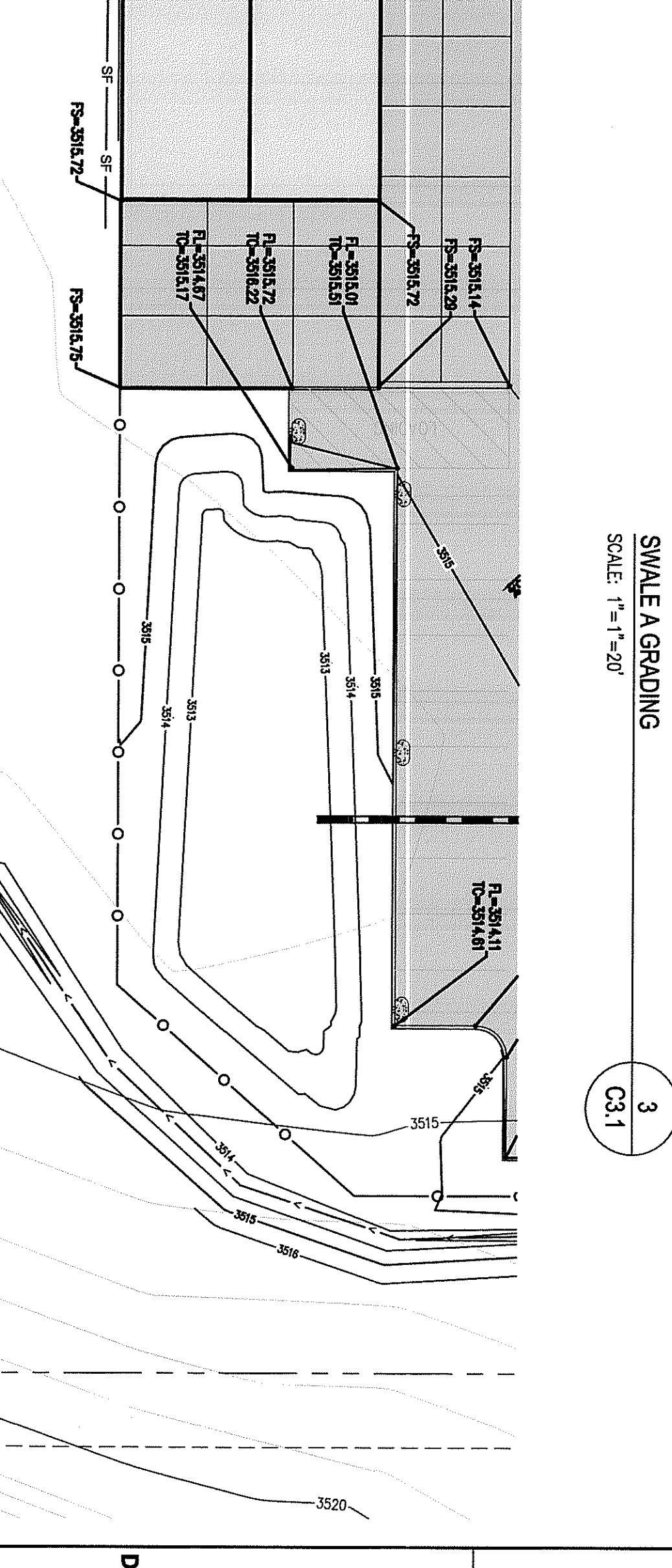
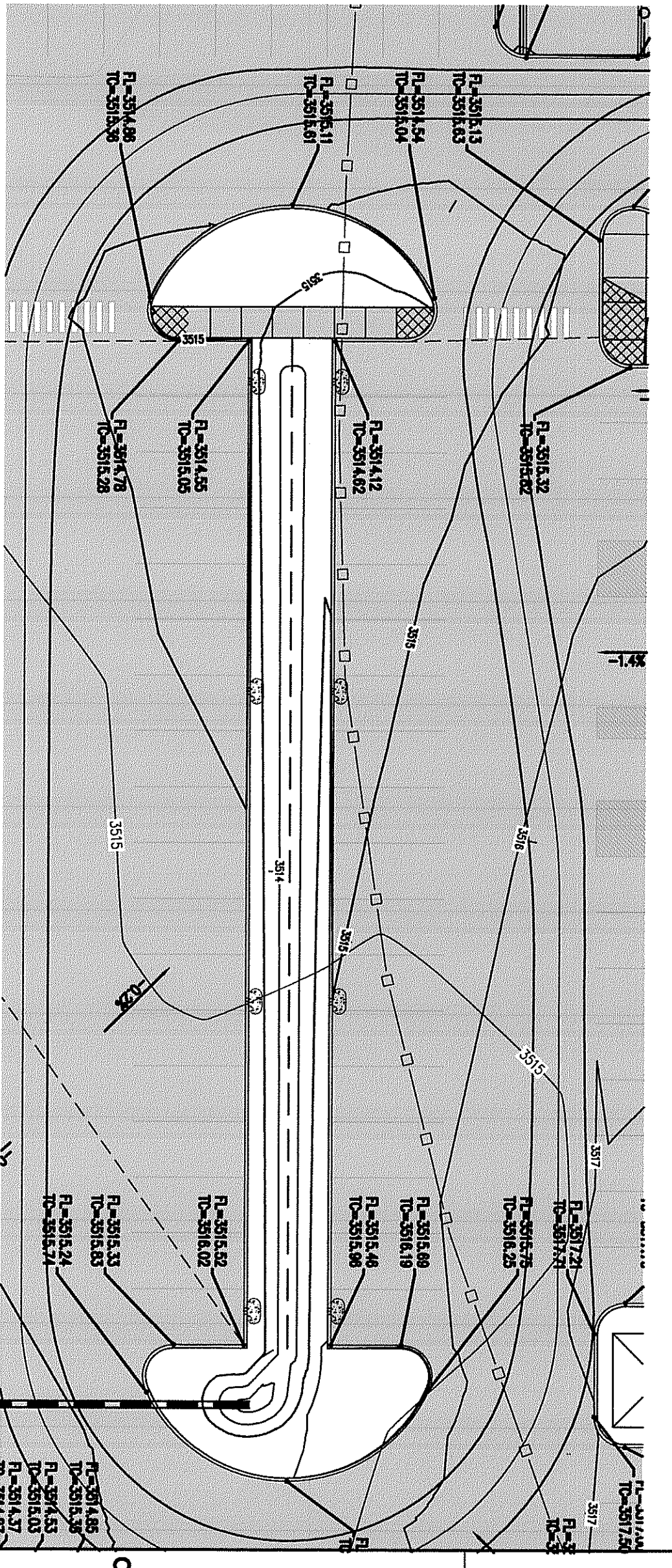
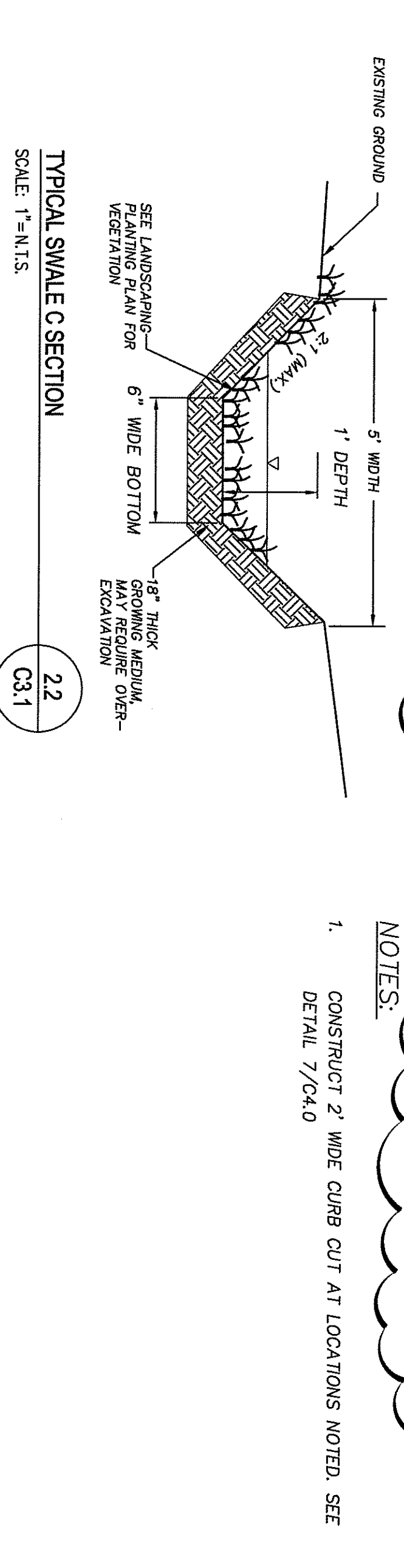
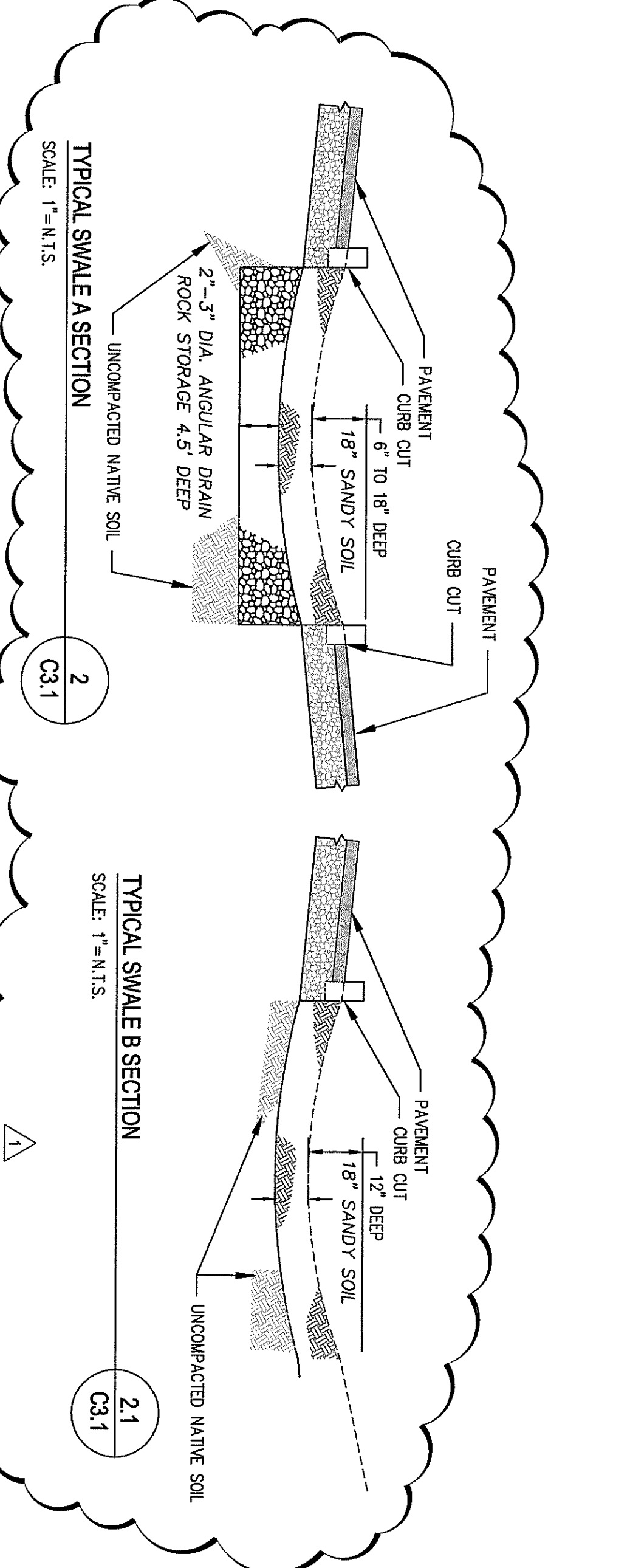
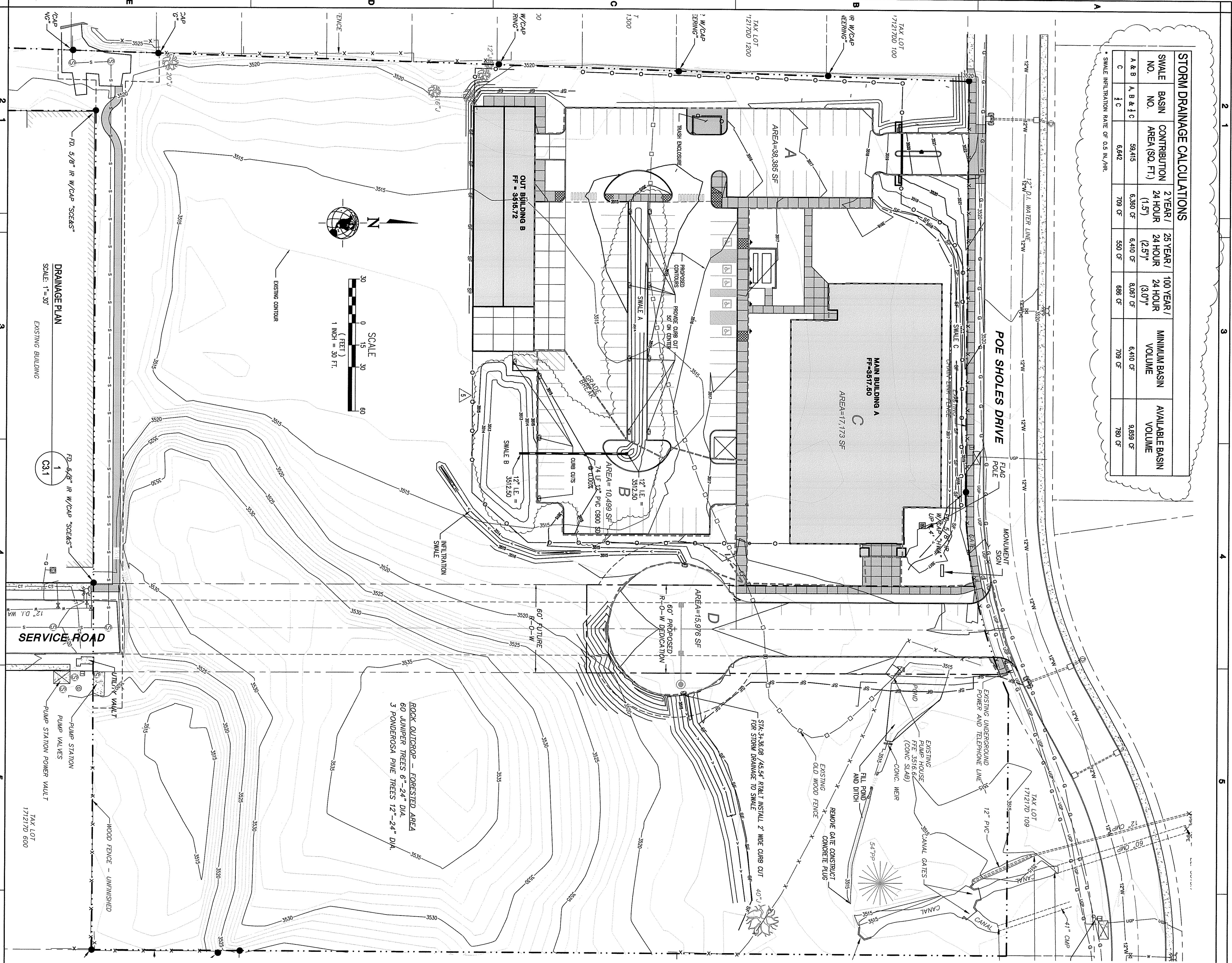
**DESCHUTES COUNTY
 PUBLIC SAFETY FACILITY
 GRADING PLAN**

LCA Architects, P.A.
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 Bend, Oregon 97702
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STORM DRAINAGE CALCULATIONS

SWALE BASIN NO.	CONTRIBUTION AREA (SQ. FT.)	2 YEAR / 24 HOUR (1.5")	25 YEAR / 24 HOUR (2.5")	100 YEAR / 24 HOUR (3.0")	MINIMUM BASIN VOLUME	AVAILABLE BASIN VOLUME
A & B	59,415	6,380 CF	6,410 CF	6,087 CF	6,410 CF	9,889 CF
C	17,720	709 CF	530 CF	698 CF	709 CF	790 CF

* SWALE INFILTRATION RATE OF 0.5 IN./HR.

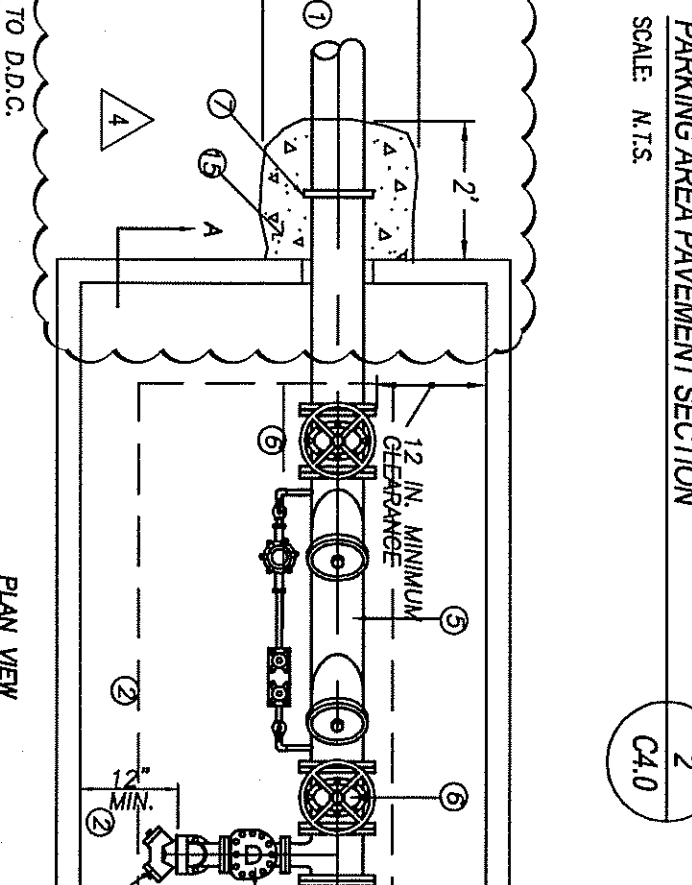
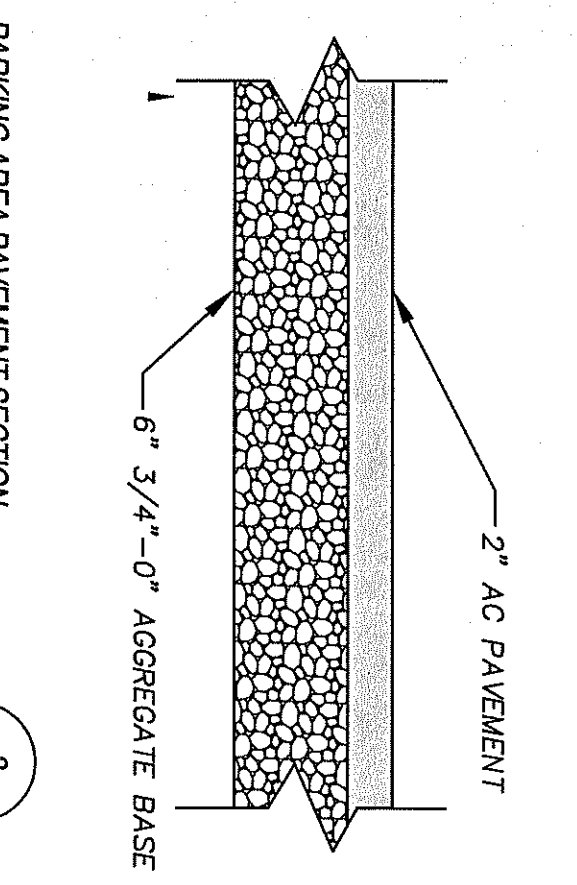
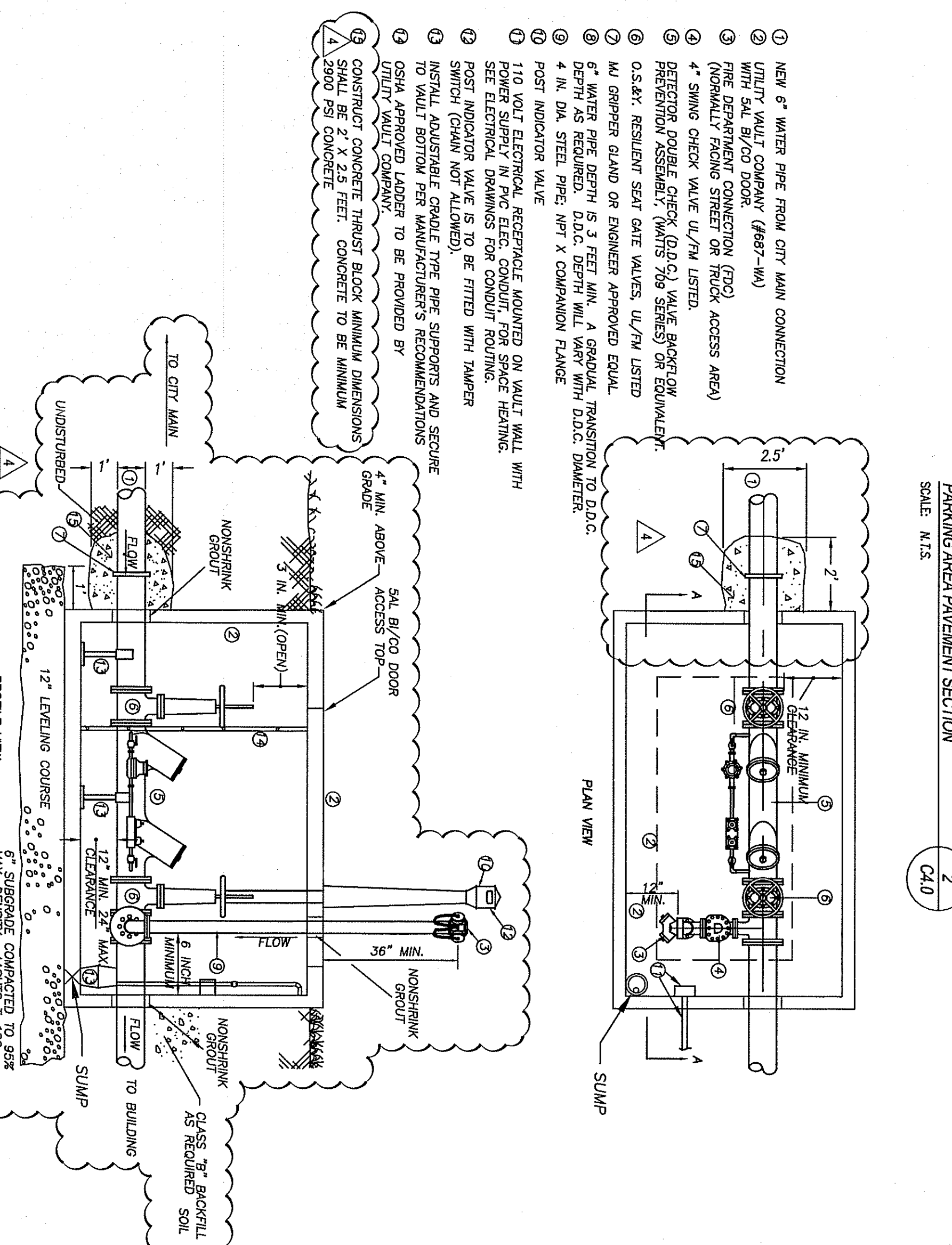
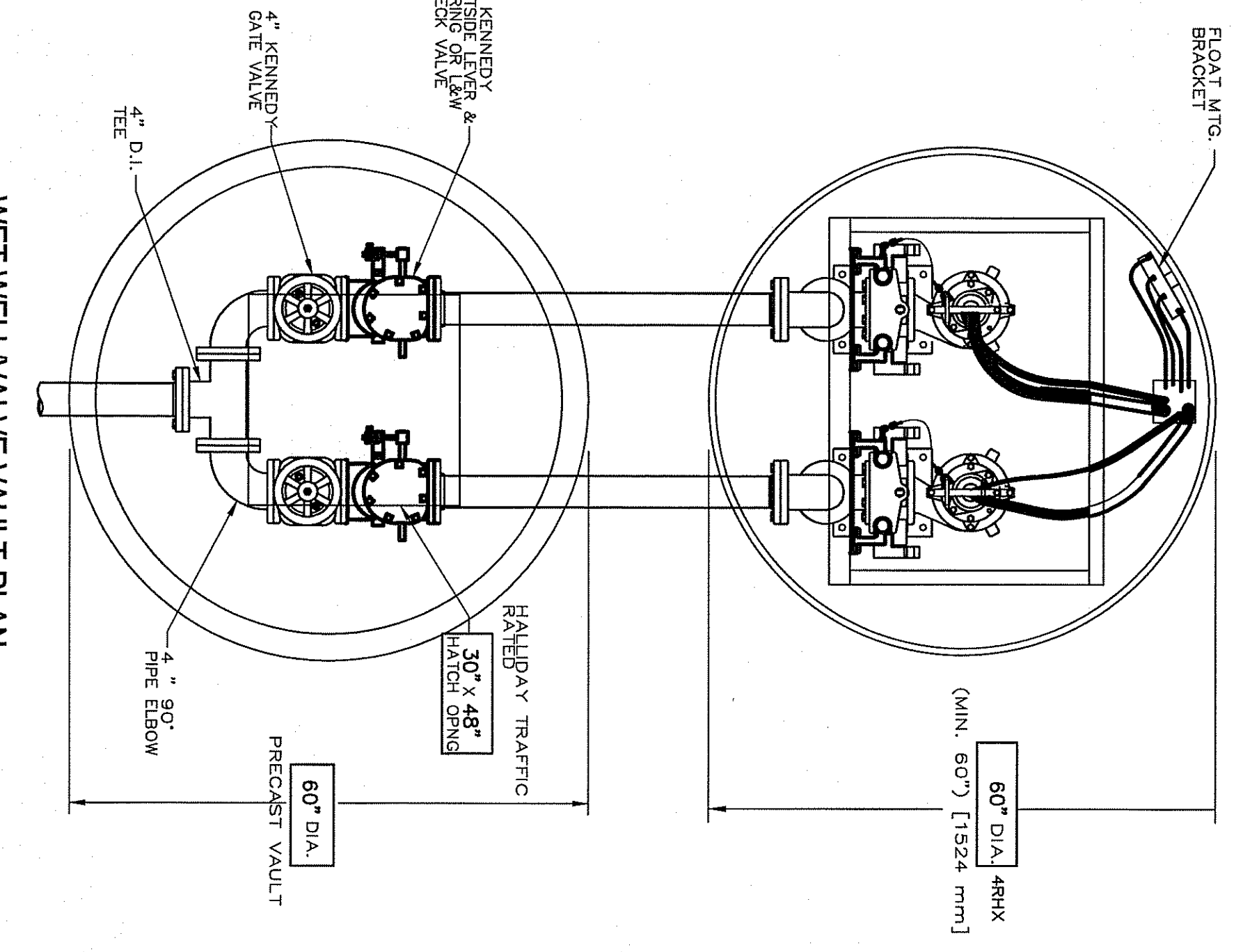
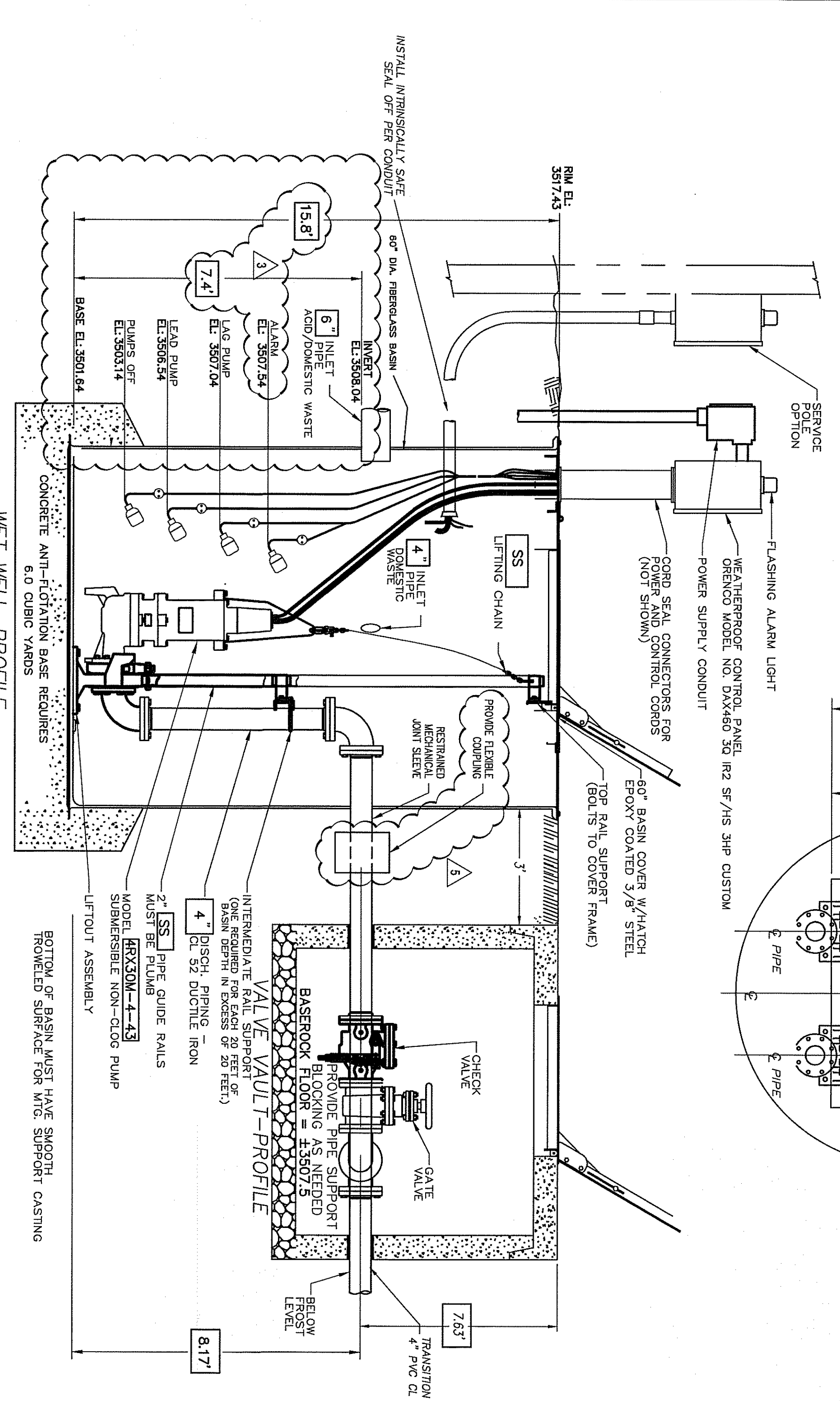
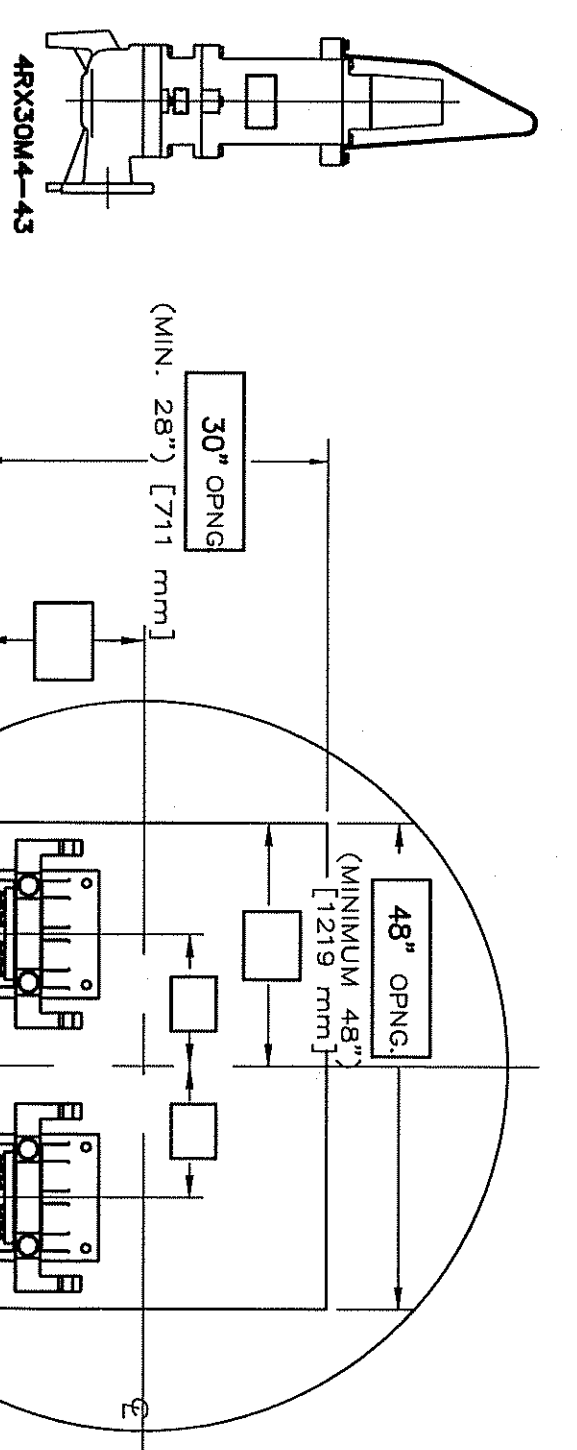


MRK	DATE	DESCRIPTION
1	05/12/09	PLAN REVIEW REV./ADDENDUM #1
2	09/01/09	PLAN REVIEW REV. PER CITY COMMENTS

MRK	DATE	DESCRIPTION
3		
4		
5		

DESCHUTES COUNTY PUBLIC SAFETY FACILITY DRAINAGE PLAN

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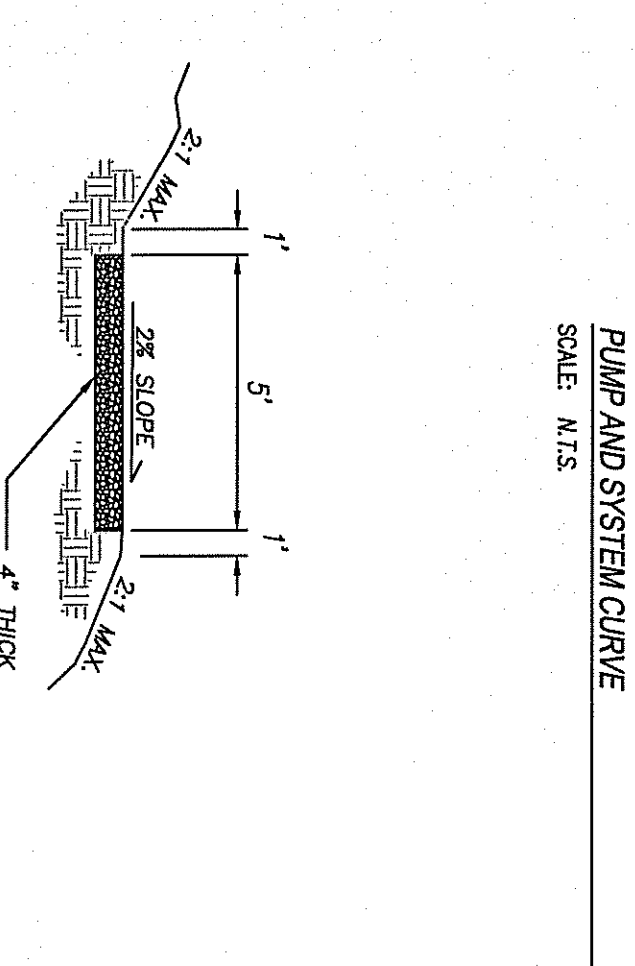
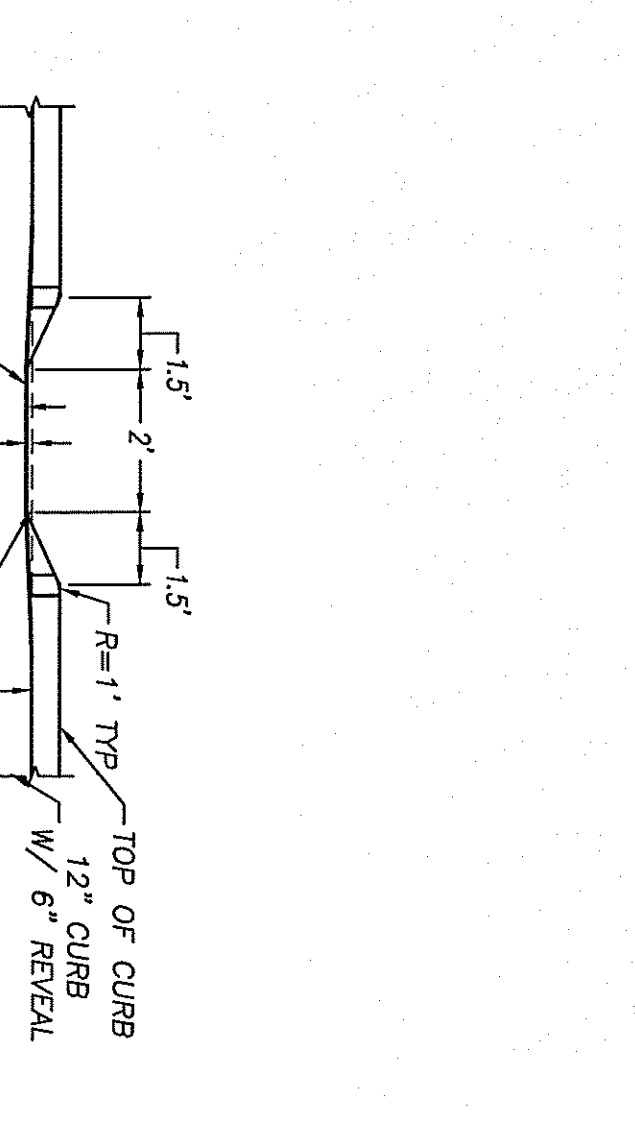
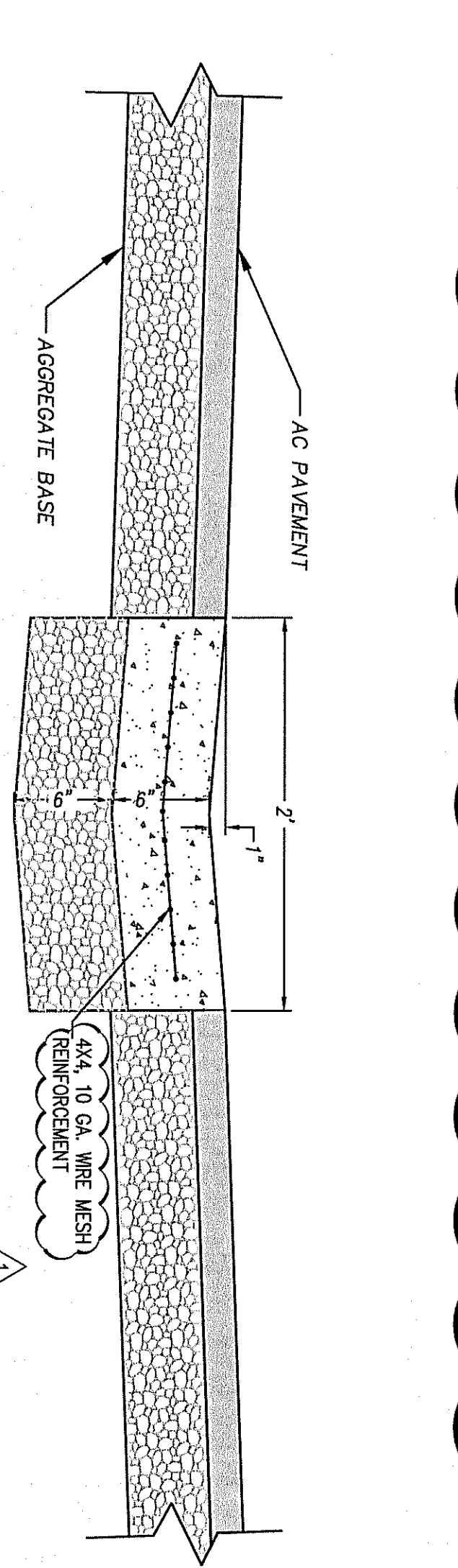
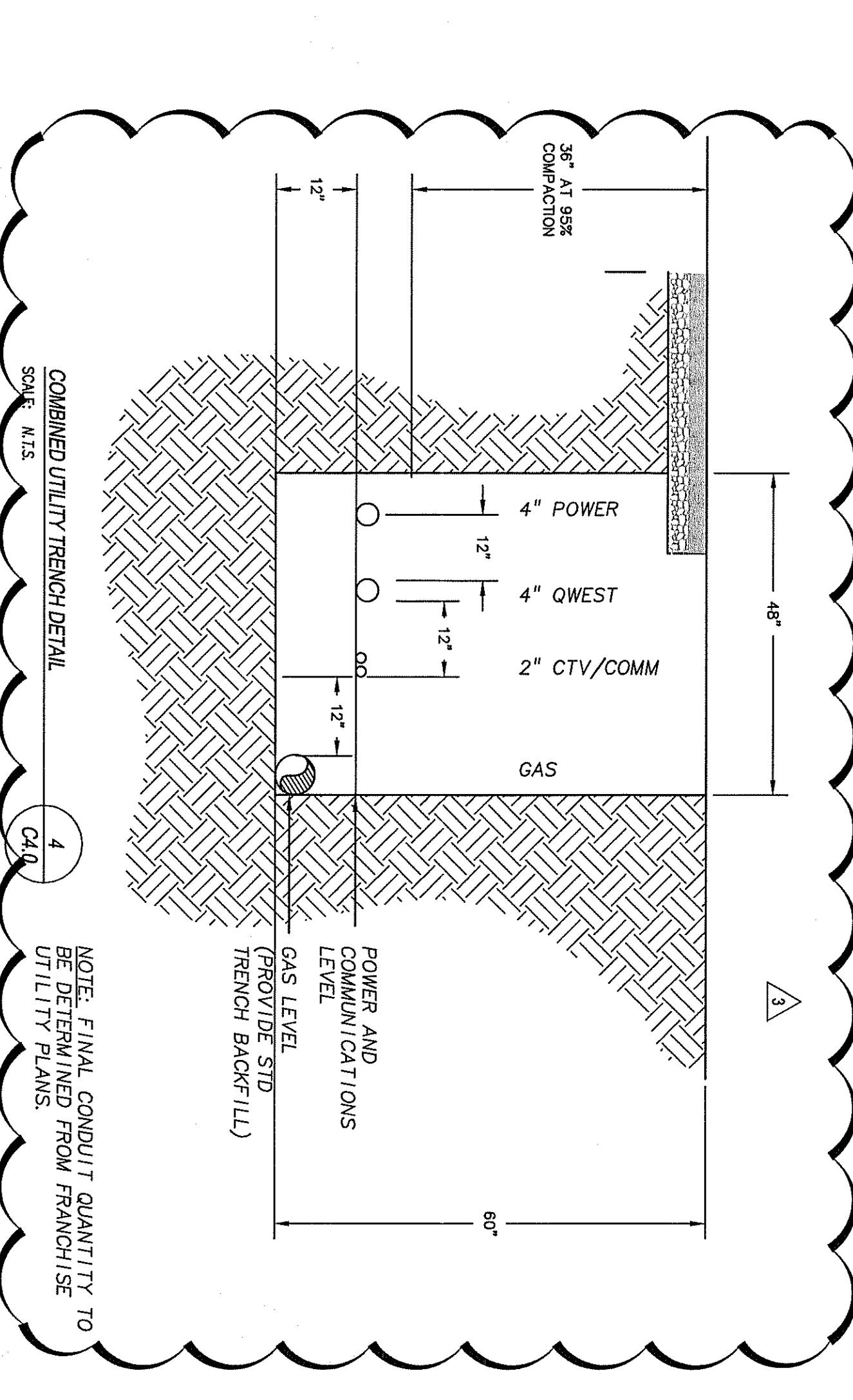
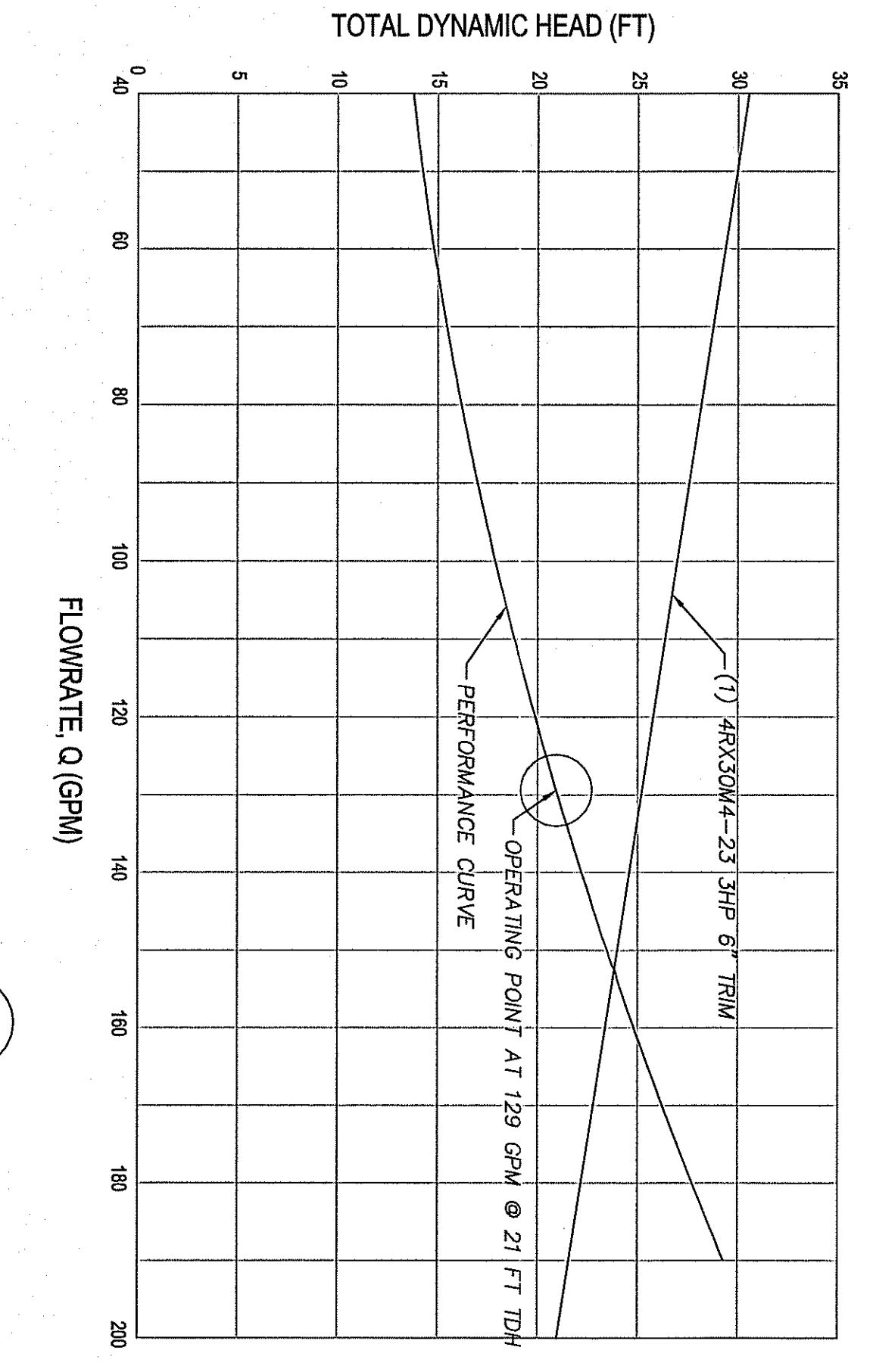
**NEW DESCHUTES COUNTY PUBLIC SAFETY FACILITY
SEWER PUMP STATION**

CONTROL PANEL:
INSTALL ALTERNATING DUPLEX INTRINSICALLY SAFE SEWAGE PANEL (OPENCO MODEL NO. DAX460 3Q R2 SF/HS 3 HP CUSTOM OR APPROVED EQUAL), CLASS 1 DIVISION 1 EXPLOSION PROOF CIRCUIT BREAKERS, OVER LOADS, ALARMING RELAYS, HEAT SENSOR RELAYS, SEAL SENSOR RELAYS AND LIGHTS, INTRINSICALLY SAFE FLOAT RELAYS, AND AUDIO/VISUAL ALARMS.

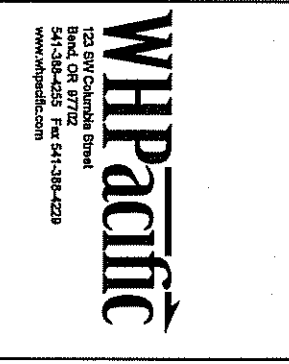
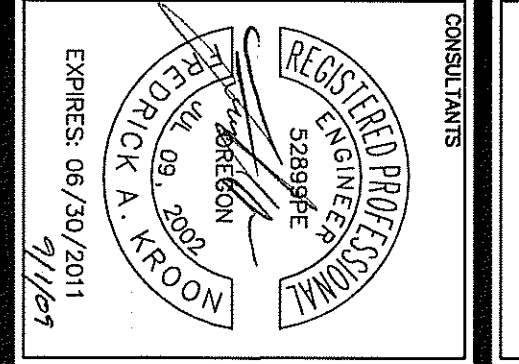
WET WELL:
LAYERS 60" FIBERGLASS WET WELL WITH CONCRETE ANTI-FLOATATION BASE OR APPROVED EQUAL.

ELECTRICAL SETTINGS:
OFF ELEVATION: 3504.14
LEAD PUMP ELEVATION: 3507.54
ALARM ELEVATION: 3508.04

NOTES:
1. TWO (2) 3 HP NON-CLOSE SUBMERSIBLE PUMPS (MODEL NO. 4R200-4-43) SHALL BE PROVIDED FOR APPROVED EQUAL.



**DESCHUTES COUNTY
PUBLIC SAFETY FACILITY
SITE DETAILS**



LCA Architects, P.A.
ARCHITECTURE - PLANNING - INTERIOR DESIGN
1221 Shoreline Lane
Boise, Idaho 83702
PHONE: (208) 345-6677 - FAX: (208) 344-9002

MRK	DATE	DESCRIPTION
1	05/12/09	PLAN REVIEW REV./ADDENDUM #1
2	06/01/09	PLAN REVIEW REV./ADDENDUM #3
3	06/12/09	PLAN REVIEW REV.
4	08/27/09	CHANGES PER ADDENDUM #2

LOG NO. 036476
DATE: 09/20/11
DRAWN BY: RAK
CHECKED BY: JWB
SHEET NO. C4.0

DATE: 09/20/11
DRAWN BY: RAK
CHECKED BY: JWB
SHEET NO. C4.0