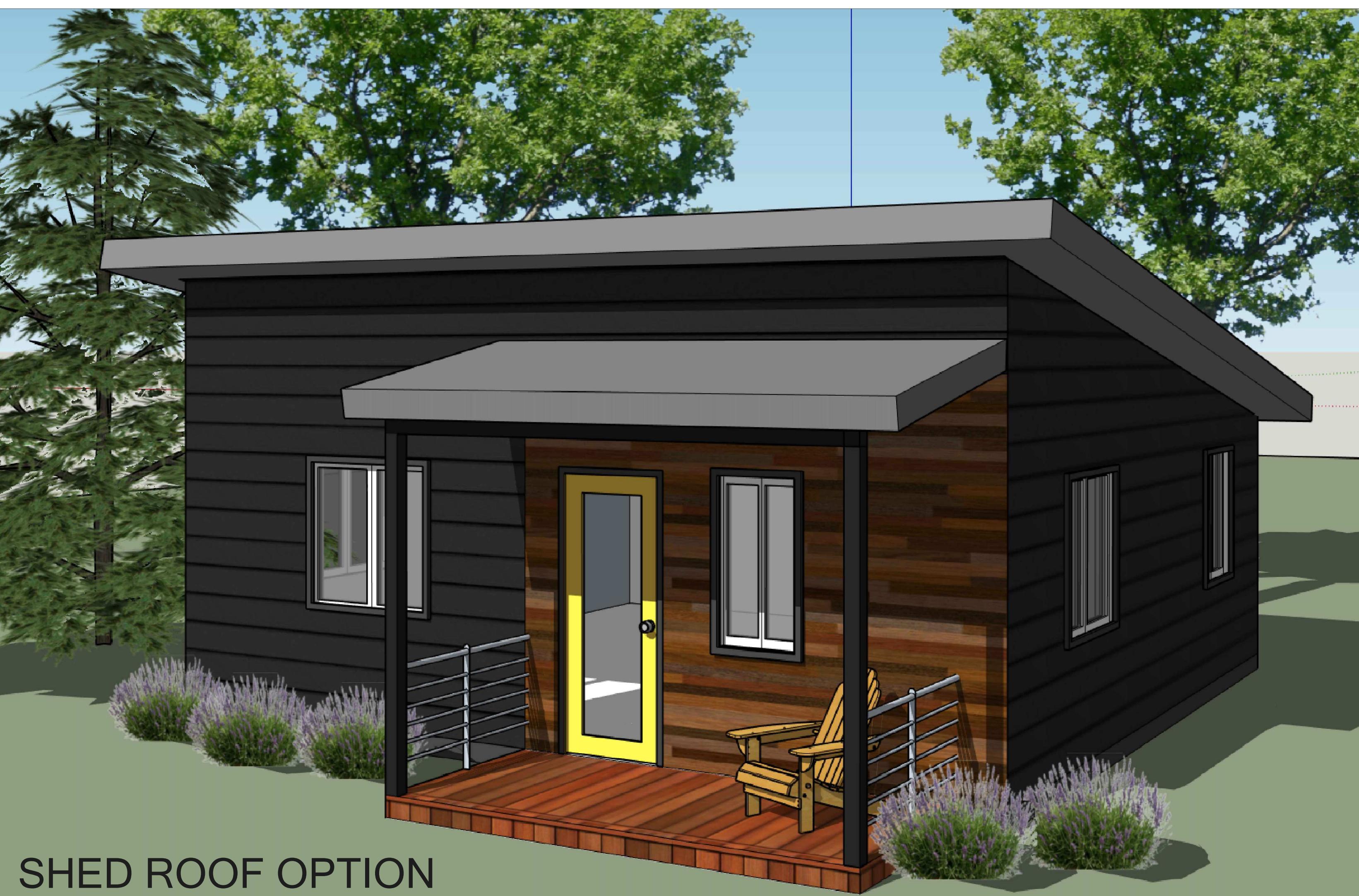


Cover Sheet

576SF ACCESSORY DWELLING UNIT

Sheet Number

CS



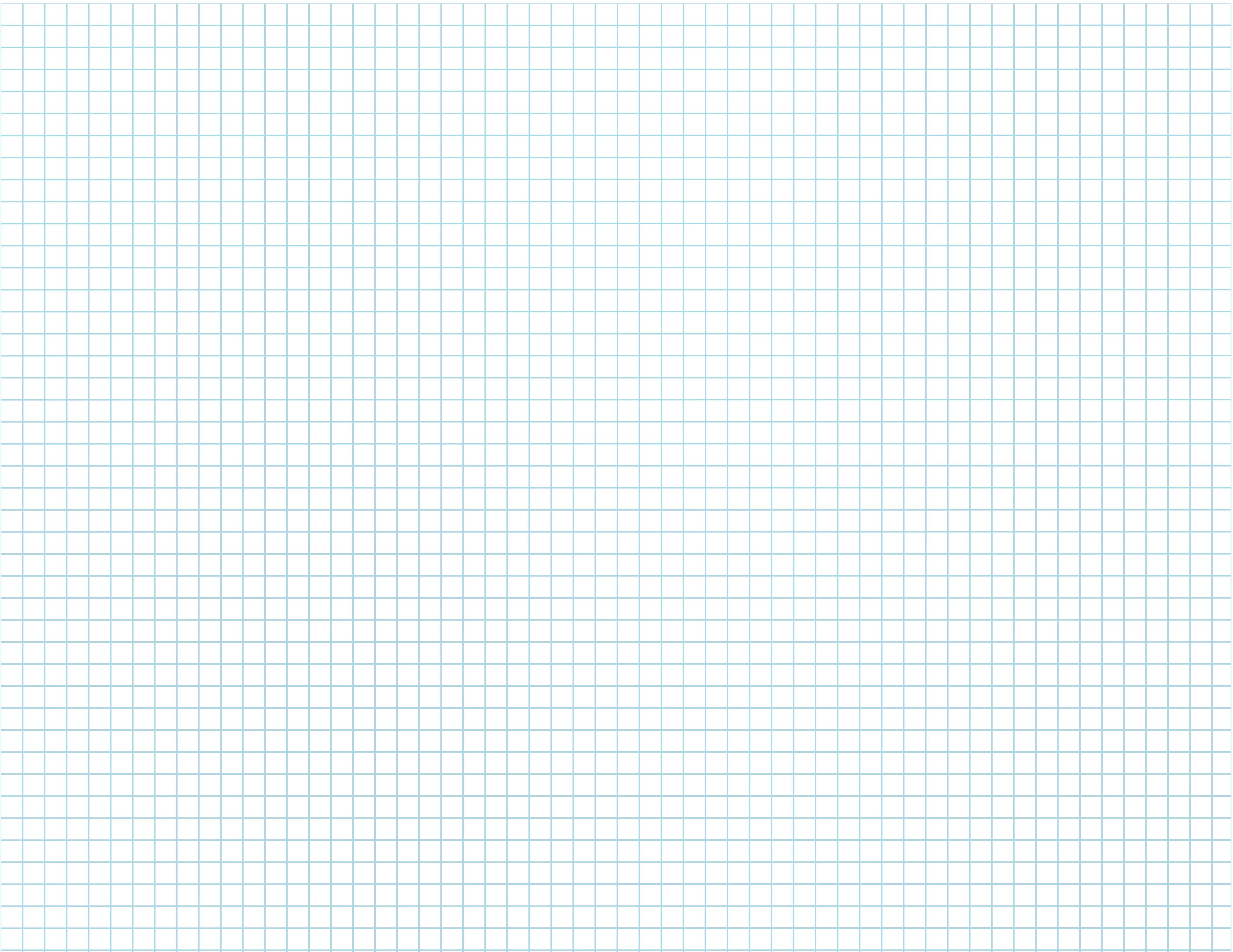
SHED ROOF OPTION



GABLE ROOF OPTION



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SHEET INDEX	
#	NAME
GS	General-Gable Roof
01	Site Plan and Index
02	Floor Plan
03A	Foundation-Slab on Grade
03B	Foundation-Post and Beam
04	Roof Framing Plan
05	Wall Bracing Plan
06-A	Elevations-Gable Roof
06-B	Elevation-Shed Roof
07	Sections-Gable
08A	Small Porch Cover-Option #1
08B	Medium Porch Cover-Option #2
08C	Large Porch Cover-Option #3
8.000	Shed Roof-Option #4

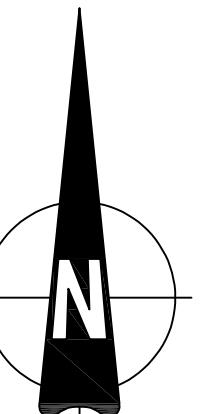
GENERAL CODES

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES
 -2021 OREGON RESIDENTIAL SPECIALTY CODE (ORSC)
 -2021 OREGON ELECTRICAL SPECIALTY CODE (OESC)
 -2021 OREGON PLUMBING SPECIALTY CODE (OPSC)

DESIGN BASIS

CONVENTIONAL LIGHT FRAME CONSTRUCTION

GROUND SNOW LOAD: 36 PSF (Prescriptive design)
 ROOF SNOW LOAD: 25 PSF (Engineered design)
 BASIC DESIGN WIND SPEED: 98 MPH
 EXPOSURE CATEGORY: B
 SITE CLASS: D
 RISK CATEGORY: II
 SEISMIC DESIGN CATEGORY: C
 ASSUMED SOIL VERTICAL BEARING PRESSURE: 1500 PSF
 ASSUMED SOIL LATERAL BEARING PRESSURE: 100 PSF/FT

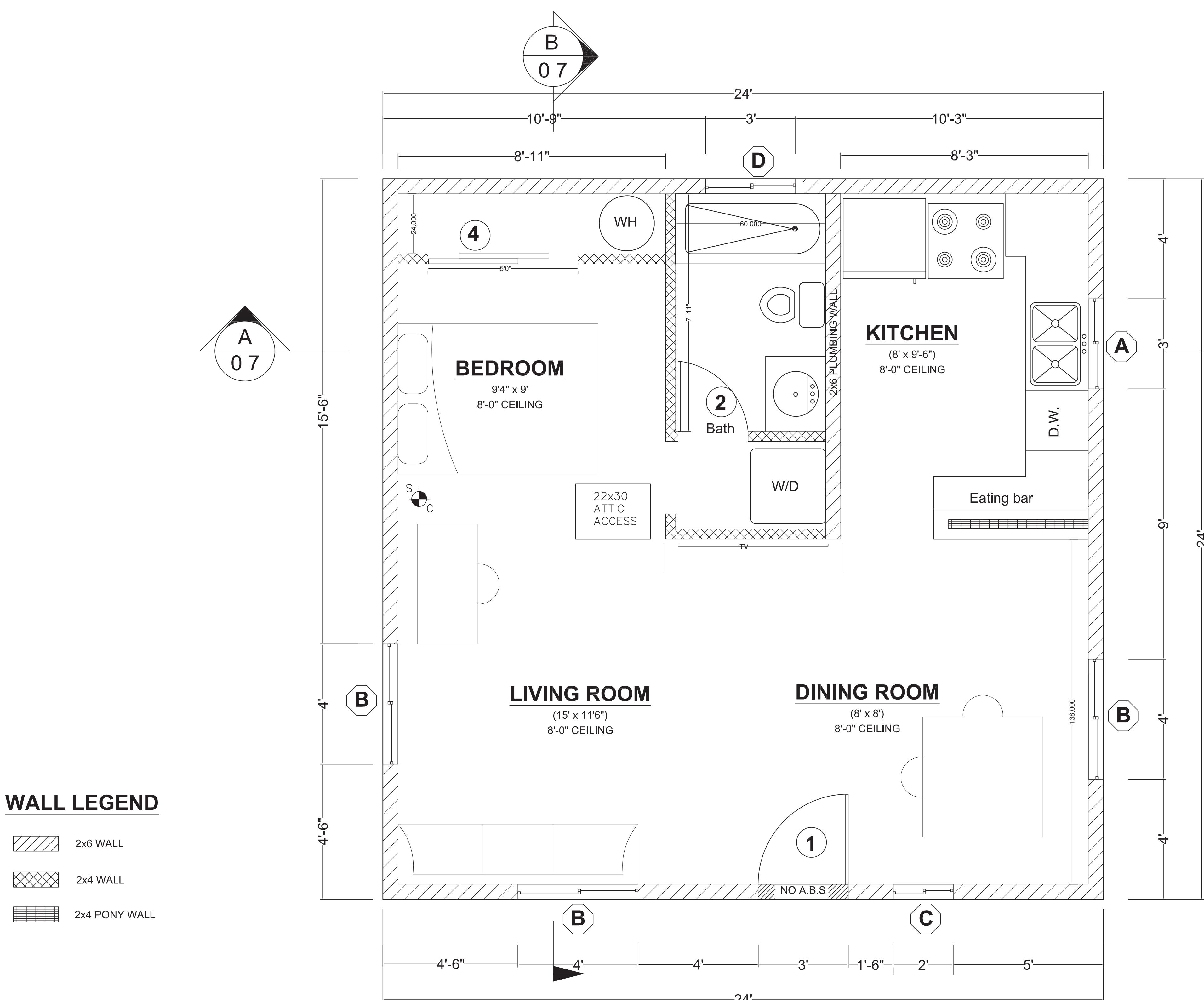


SCALE: 1" =

VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PROJECT SCOPE	INFORMATION REQUIREMENTS	IMPERVIOUS AREA INFORMATION	SHEET TITLE																									
	NAME: ADDRESS: PHONE: EMAIL:	NAME: ADDRESS: PHONE: EMAIL:	PROPOSED 576 SF DETACHED ACCESSORY DWELLING UNIT	<ul style="list-style-type: none"> PROPERTY LINES WITH DIMENSIONS NORTH ARROW DRAWN TO STANDARD SCALE (MINIMUM 1:20) STRUCTURES DIMENSIONED AND SETBACKS SHOWN BOTH EXISTING AND PROPOSED STORM WATER DESTINATION 	IMPERVIOUS SURFACE AREA TABLE <table border="1"> <thead> <tr> <th>SITE ID</th><th>IMPERVIOUS ITEM</th><th>DIMENSIONS</th><th>NEW OR REPLACED AREA (sf)</th><th>EXISTING AREA (sf)</th></tr> </thead> <tbody> <tr> <td>1</td><td>ADU + OVERHANGS</td><td>32'-7" x 24'-0"</td><td>782 SF</td><td></td></tr> <tr> <td>2</td><td>SFD</td><td></td><td></td><td></td></tr> <tr> <td>3</td><td>DRIVeway</td><td></td><td></td><td></td></tr> <tr> <td>4</td><td></td><td></td><td></td><td></td></tr> </tbody> </table> <p>LAND DISTURBANCE: _____ SF</p>	SITE ID	IMPERVIOUS ITEM	DIMENSIONS	NEW OR REPLACED AREA (sf)	EXISTING AREA (sf)	1	ADU + OVERHANGS	32'-7" x 24'-0"	782 SF		2	SFD				3	DRIVeway				4					SITE PLAN SHEET NUMBER 01
SITE ID	IMPERVIOUS ITEM	DIMENSIONS	NEW OR REPLACED AREA (sf)	EXISTING AREA (sf)																											
1	ADU + OVERHANGS	32'-7" x 24'-0"	782 SF																												
2	SFD																														
3	DRIVeway																														
4																															

Floor Plan

576SF ACCESSORY DWELLING UNIT



WINDOW SCHEDULE				
MARK	DIMENSION	TYPE	TEMPERED	NOTES
(A)	3'-0" x 3'-0"	SLIDING		
(B)	4'-0" x 4'-0"	SLIDING		
(C)	2'-0" x 4'-0"	FIXED	Y	
(D)	3'-0" x 1'-0"	SLIDING		

Exterior windows shall be tested by an approved independent laboratory and bear a label identifying the manufacturer, thermal performance including the U-factor and approved inspection agency to indicate compliance with AAMA/WDMA/CSA 101/1.S.2/A440. [R609.3; N1104.4.1]

Labels shall remain attached to the windows until the building inspector inspects and verifies the labeling. [N1104.4.1]

DOOR SCHEDULE				
MARK	DIMENSION	TYPE	TEMPERED	NOTES
(1)	3'-0" x 6'-8"	SWINGING		1-3/8" SOLID CORE
(2)	2'-8" x 6'-8"	SWINGING		
(3)		BI-FOLD		LAUNDRY ROOM
(4)	5'-0" x 6'-8"	SLIDING		5FT CLOSET

Labels shall remain attached to the doors until the building inspector inspects and verifies the labeling. [N1104.4.1]

FLOOR PLAN NOTES

- Exterior walls located less than 3 feet from a property line must be 1-hour fire-resistance rated, with no openings allowed. [R302.1]
- Permanent heating facilities capable of maintaining a room temperature of not less than 68°F shall be provided. Portable space heaters shall not be used to meet this requirement. [R303.10]
- Habitable rooms shall have a floor area of not less than 70 square feet and not less than 7 feet in any horizontal dimension. [R304]
- Habitable rooms and hallways shall have a minimum 7-foot ceiling height. Bathrooms and laundry rooms shall have a ceiling height of not less than 6 feet 8 inches. Refer to R305 for sloped ceiling allowances.
- Tempered or other safety glazing complying with the impact test requirements of R 308.3 must be installed in hazardous locations identified in R308.4, including:
 - glazing in doors;
 - glazing in the plane of a door where the glazing is within 24" of the door
 - glazing in a wall perpendicular to a door where the glazing is within 24" of the hinge side of an in-swinging door.
 - glazing that is greater than 9 square feet in area and within 36" horizontally from a walking surface, if the bottom edge is less than 18" above the floor and the top edge is more than 36" above the floor.
 - glazing in guards and railings.
 - glazing in tub/shower walls or enclosures where the glazing is less than 60" above the standing surface and within 60" horizontally of the edge of the tub or shower.
- Every sleeping room shall have not less than one operable emergency egress opening [R310.1]. Emergency egress openings shall have a net clear opening of not less than 5.7 sq ft. The net clear opening height shall be not less than 24" and the net clear opening width shall be not less than 20" [R310.2.1 See Exceptions]. Minimum sill height for egress openings shall not exceed 44" [R310.2.2].
- A landing is required on the exterior side of the exterior egress door [R311.3]. The width of the landing shall not be less than the door served and the dimension in the direction of travel not be less than 36". The landing shall be not more than 1 1/2" below the top of the threshold if the door swings out over the landing. The landing shall be not more than 8" below the top of the threshold if the door does not swing over the landing [R311.3.1].
- Smoke and Carbon Monoxide Alarms.** [R314 and R315]
 - Smoke alarms listed in accordance with UL 217 shall be installed in each bedroom and out side of each separate sleeping area in the immediate vicinity of the bedrooms.
 - Smoke alarms shall be hard-wired with battery backup. Multiple smoke detectors shall be interconnected so that activation of one alarm will activate all alarms.
 - Smoke alarms must be installed in accordance with the manufacturer's instructions and shall be located to comply with the following:
 - At least 3 feet horizontally from a door to a bathroom containing a tub or shower.
 - Ionization smoke alarm with alarm-silencing switch: at least 10 feet horizontally from permanent Cooking appliance.
 - Ionization smoke alarm w/o alarm-silencing switch: at least 20 feet horizontally from permanent cooking appliance.
 - Photoelectric smoke alarm: at least 6 feet horizontally from permanent cooking appliance..
- All rooms containing a tub and/or shower shall be provided with an 80 cfm minimum exhaust fan controlled by a dehumidistat timer or similar means of automatic control. The exhaust air must be discharged outside of the building. [R303.3] [M1505.5]
- Minimum shower compartment area: 1,024 sq. in.; shall also be capable of encompassing a 30" circle. [OPSC 408.6]
- Showers shall be equipped with control valves of the pressure balance, thermostatic mixing or the combination pressure balance/thermostatic mixing valve type with maximum mixed water setting of 120 degrees Fahrenheit. [OPSC 408.3].
- Combustion air is required for solid fuel burning appliances, per manufacturer's instructions. [M1701.1]
- Range exhaust installation per manufacturer's installation instruction.
- A whole-house mechanical ventilation system must be provided. The whole-house ventilation system must be balanced (exhaust air equal to make-up air). [R303.4 and M1505.4]

Whole House ventilation system proposed:

HRV or ERV

Other (describe) _____

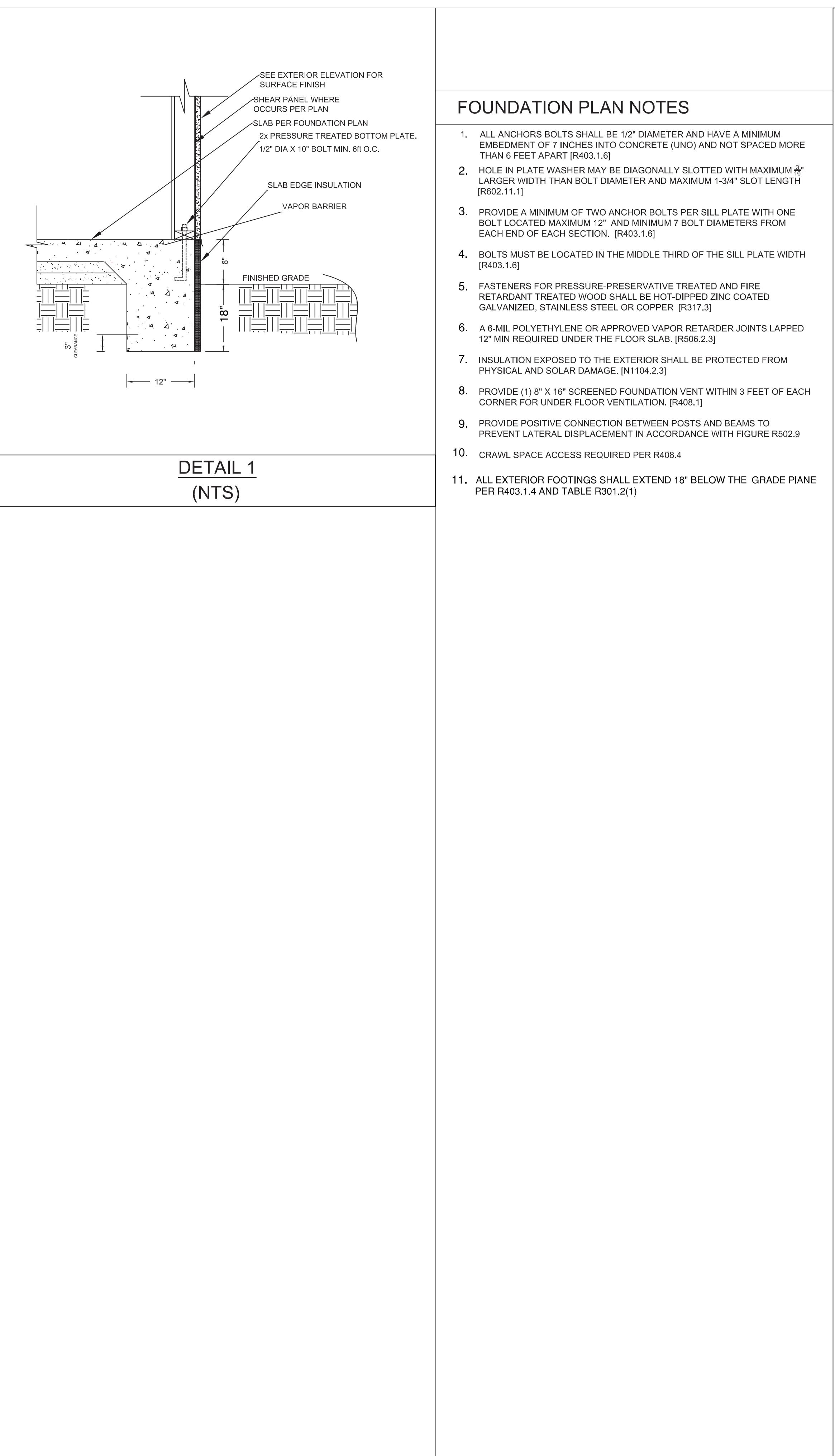
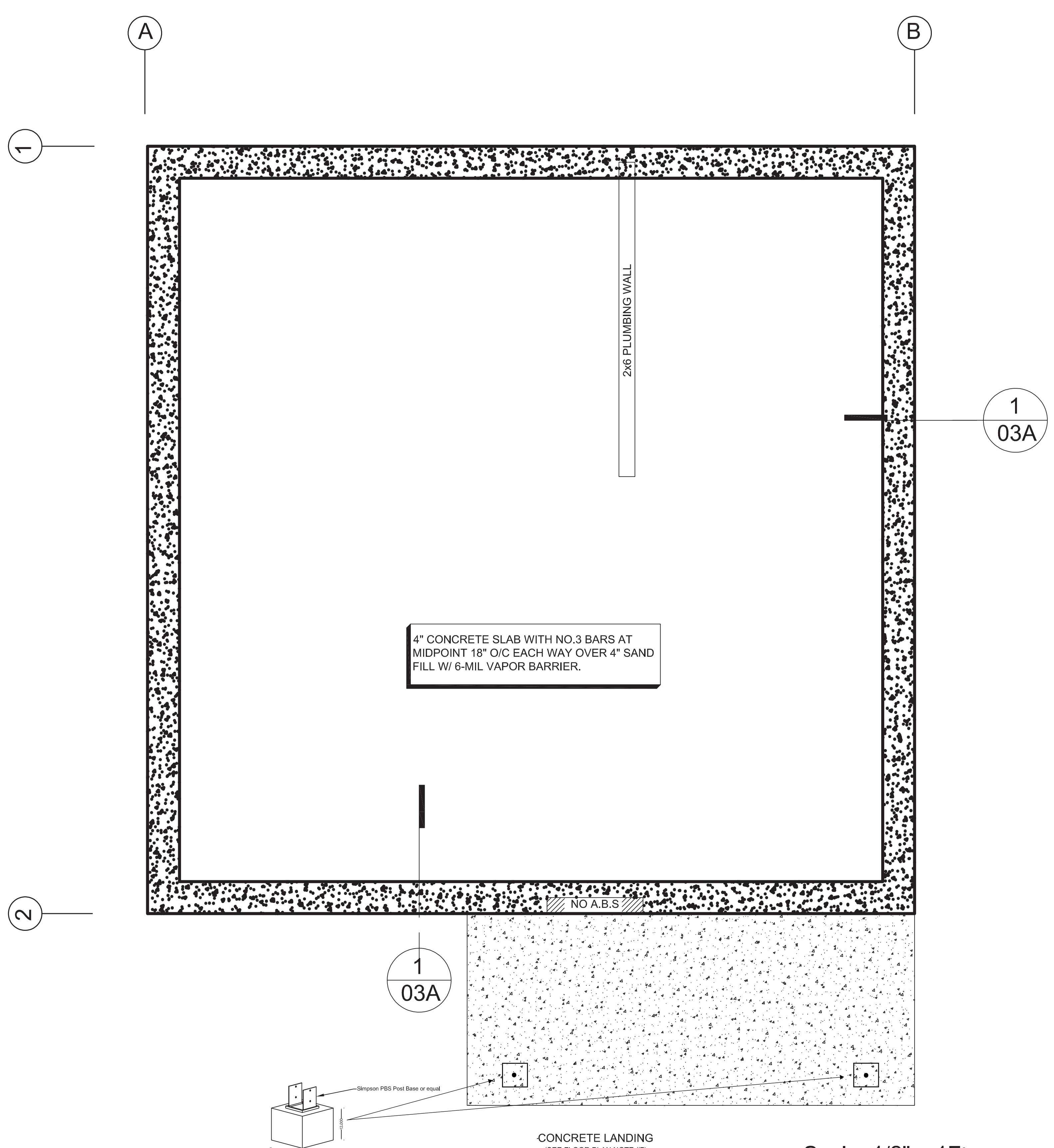
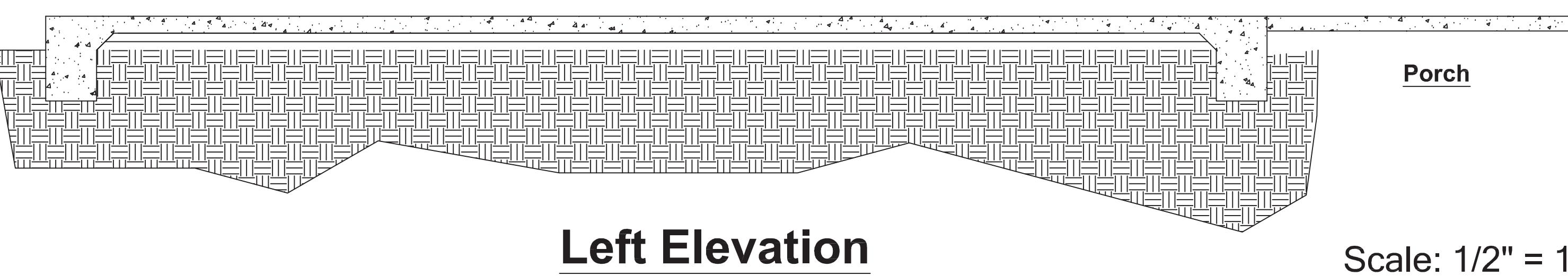
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Sheet Number

02

Foundation- Slab on Grade

576SF ACCESSORY DWELLING UNIT

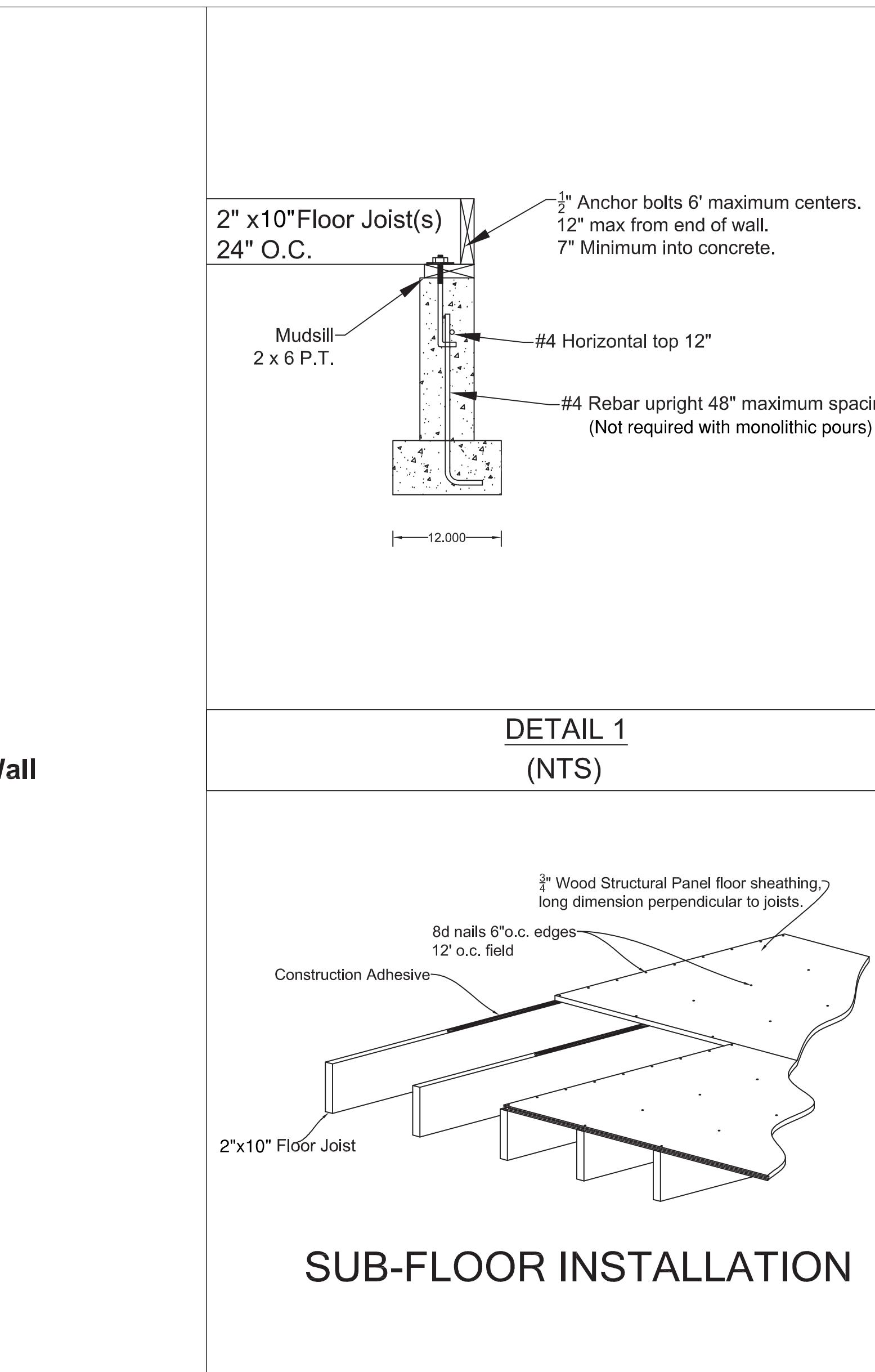
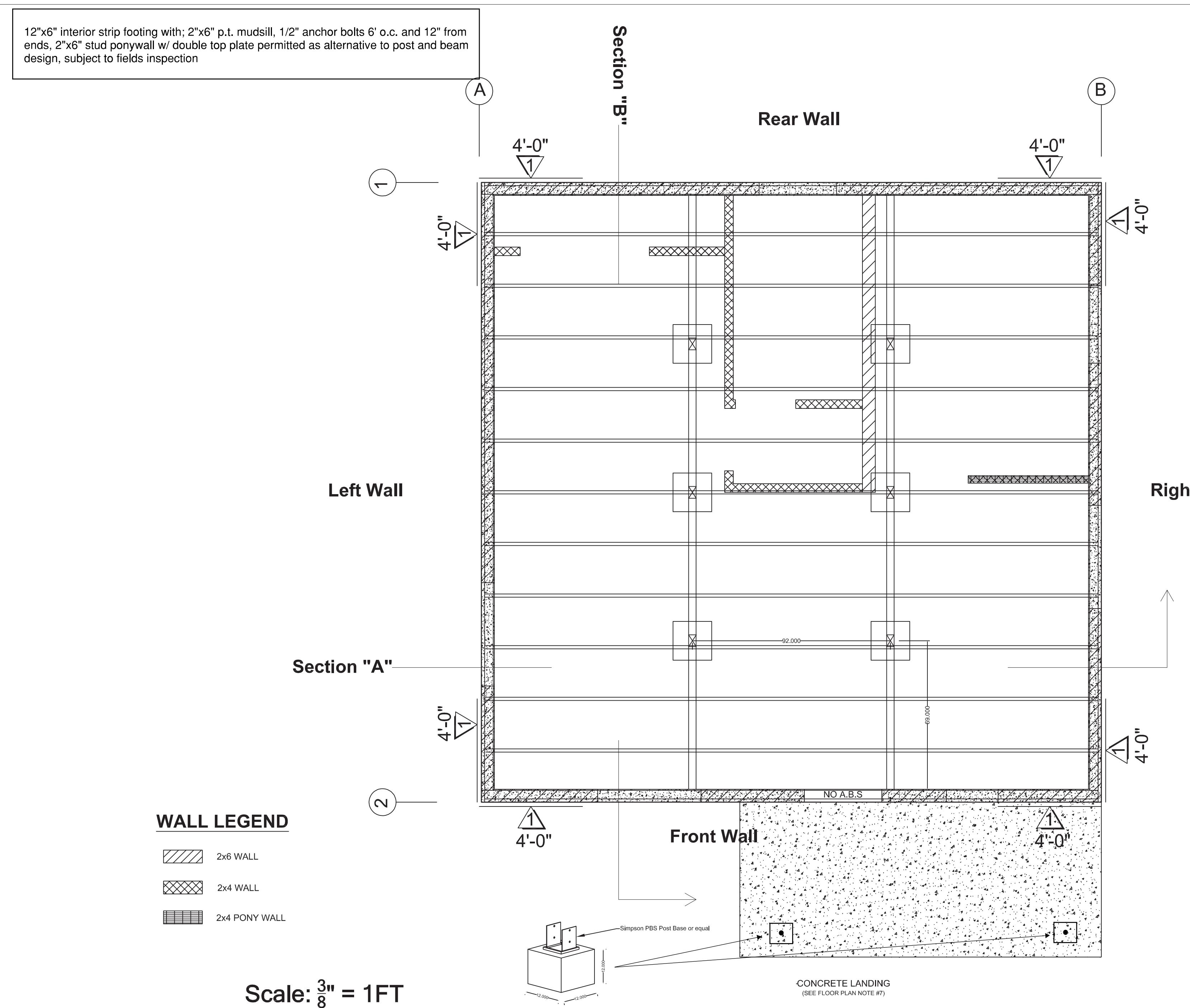


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03 A

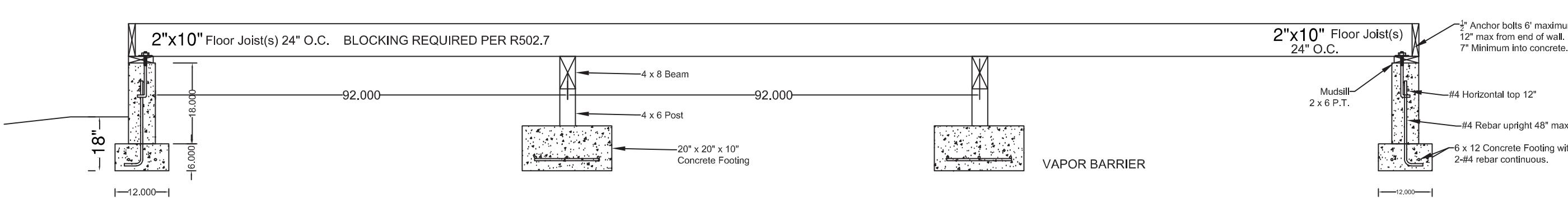
Foundation- Post and Beam

576SF ACCESSORY DWELLING UNIT

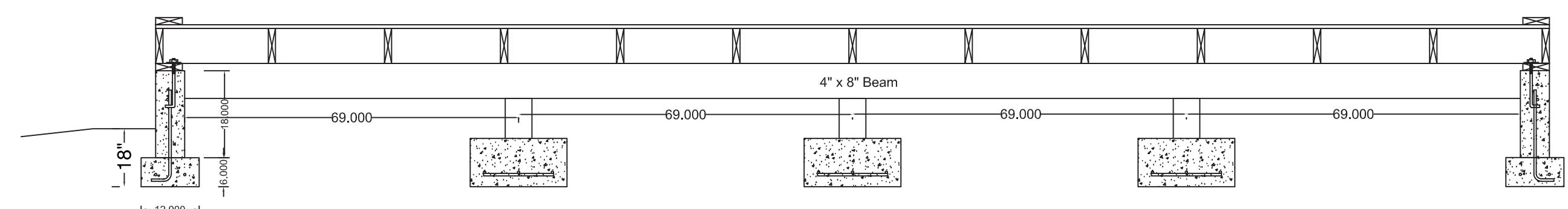


FOUNDATION PLAN NOTES

- ALL ANCHORS BOLTS SHALL BE 1/2" DIAMETER AND HAVE A MINIMUM EMBEDMENT OF 7 INCHES INTO CONCRETE (UNO) AND NOT SPACED MORE THAN 6 FEET APART [R403.1.6]
- HOLE IN PLATE WASHER MAY BE DIAGONALLY SLOTTED WITH MAXIMUM $\frac{1}{2}$ " LARGER WIDTH THAN BOLT DIAMETER AND MAXIMUM 1-3/4" SLOT LENGTH [R602.11.1]
- PROVIDE A MINIMUM OF TWO ANCHOR BOLTS PER SILL PLATE WITH ONE BOLT LOCATED MAXIMUM 12" AND MINIMUM 7 BOLT DIAMETERS FROM EACH END OF EACH SECTION. [R403.1.6]
- BOLTS MUST BE LOCATED IN THE MIDDLE THIRD OF THE SILL PLATE WIDTH [R403.1.6]
- FASTENERS FOR PRESSURE-PRESERVATIVE TREATED AND FIRE RETARDANT TREATED WOOD SHALL BE HOT-DIPPED ZINC COATED GALVANIZED, STAINLESS STEEL OR COPPER [R317.3]
- A 6-MIL POLYETHYLENE OR APPROVED VAPOR RETARDER JOINTS LAPPED 12" MIN REQUIRED UNDER THE FLOOR SLAB. [R506.2.3]
- INSULATION EXPOSED TO THE EXTERIOR SHALL BE PROTECTED FROM PHYSICAL AND SOLAR DAMAGE. [N1104.2.3]
- PROVIDE (1) 8" X 16" SCREENED FOUNDATION VENT WITHIN 3 FEET OF EACH CORNER FOR UNDER FLOOR VENTILATION. [R408.1]
- PROVIDE POSITIVE CONNECTION BETWEEN POSTS AND BEAMS TO PREVENT LATERAL DISPLACEMENT IN ACCORDANCE WITH FIGURE R502.9
- CRAWL SPACE ACCESS REQUIRED PER R408.4
- ALL EXTERIOR FOOTINGS SHALL EXTEND 18" BELOW GRADE PLANE LINE PER R403.1.4 AND TABLE R301.2(1)

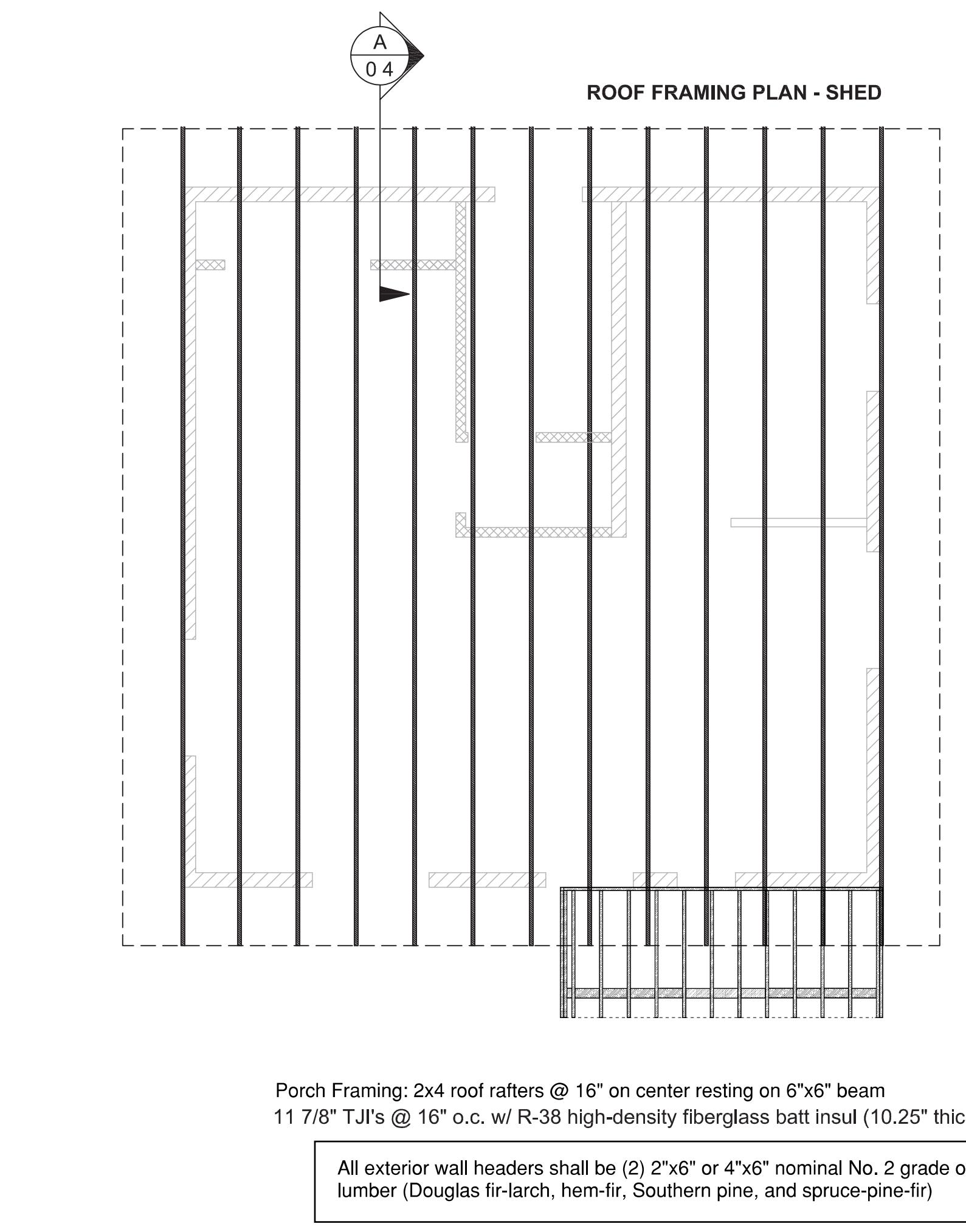


Section View "A"

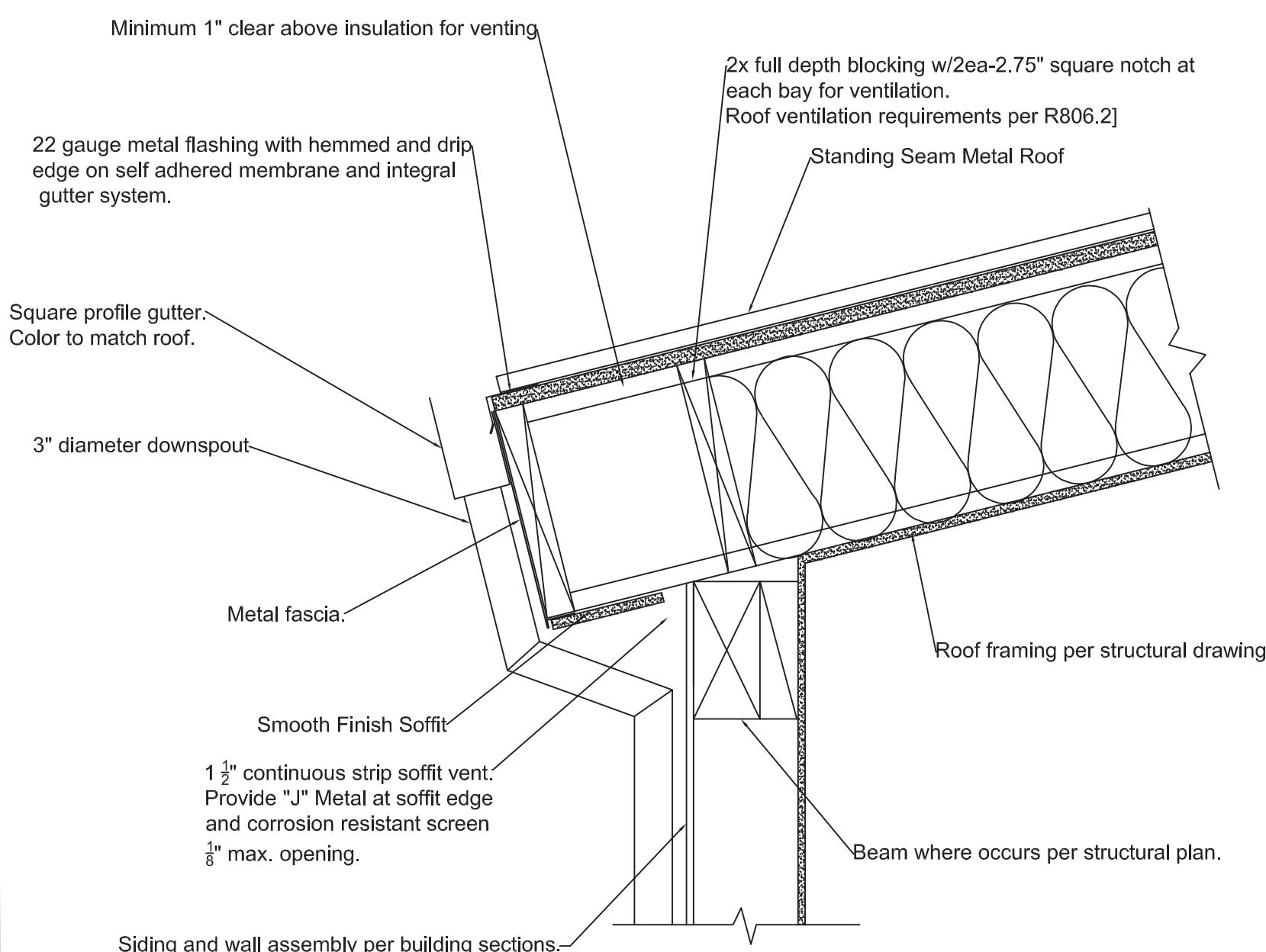
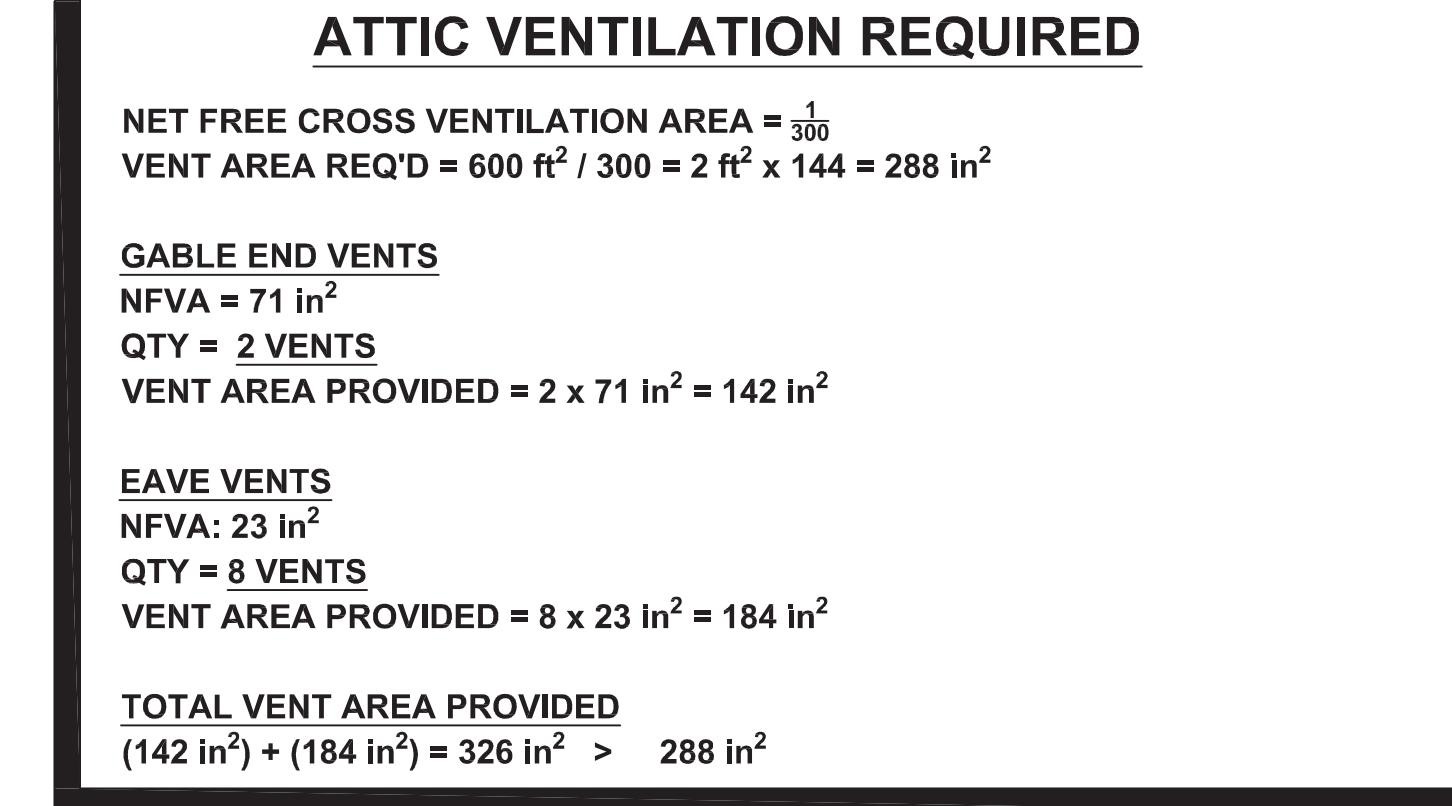
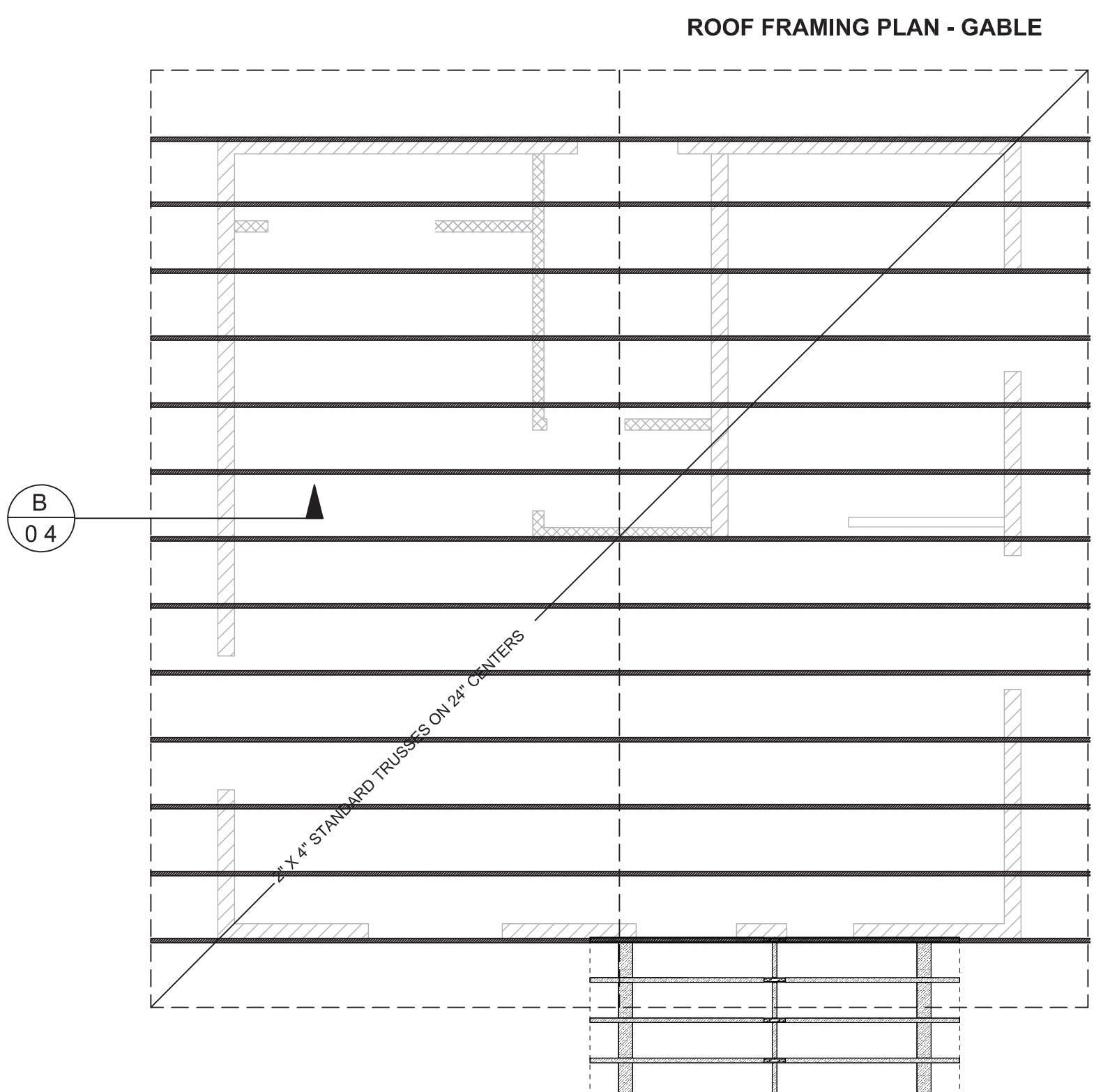


Section View "B"

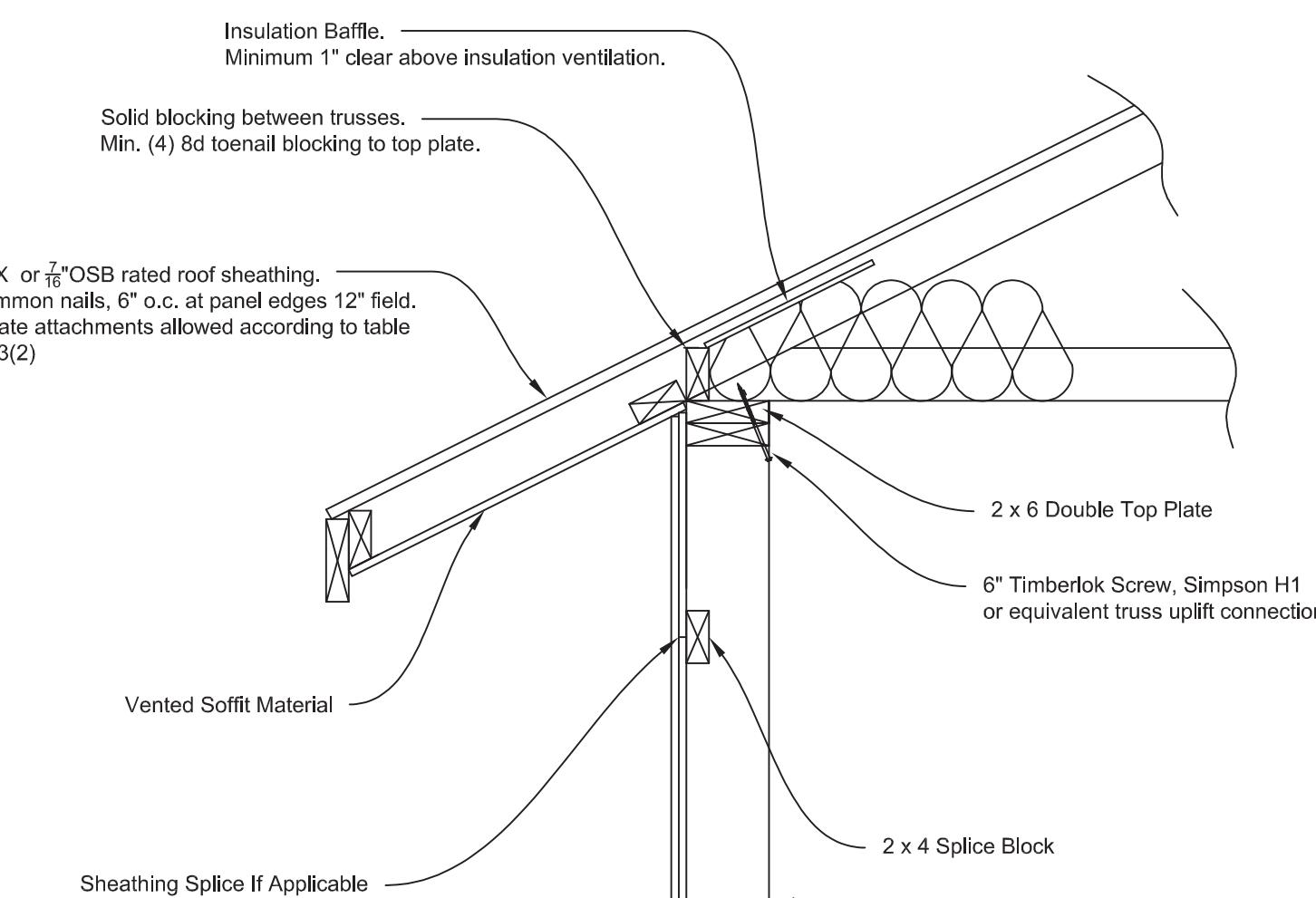
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ROOF PLAN / TRUSS LAYOUT $\frac{1}{4}'' = 1'0''$

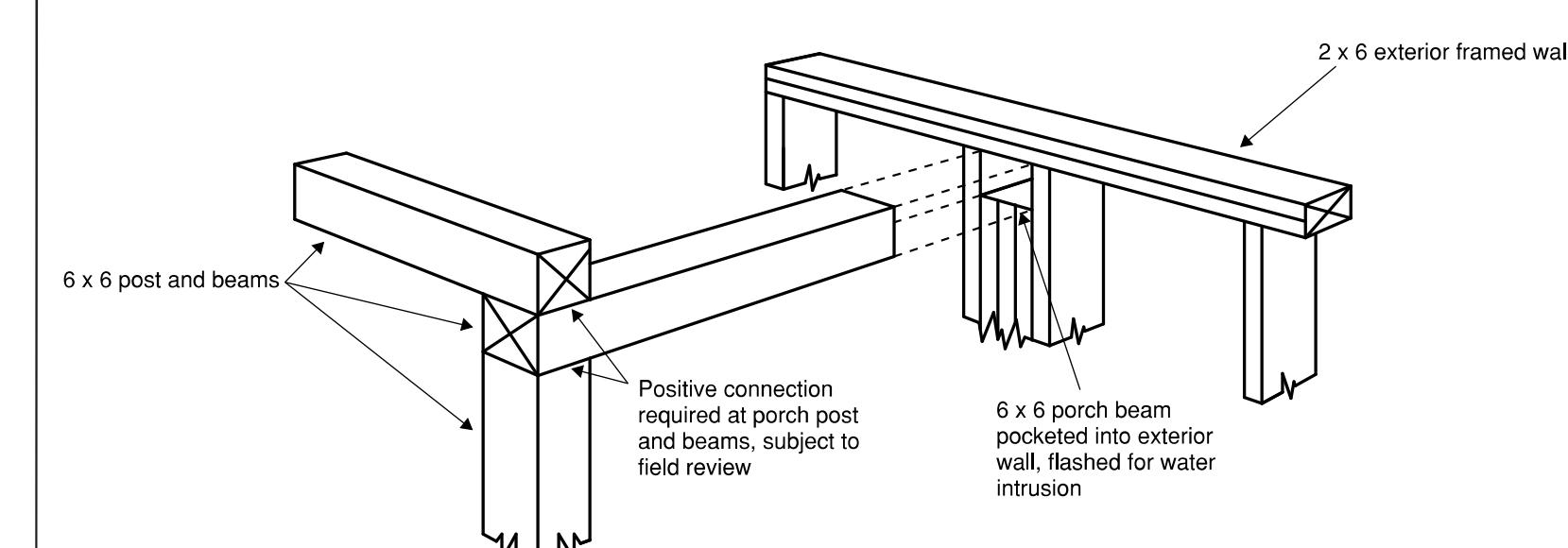
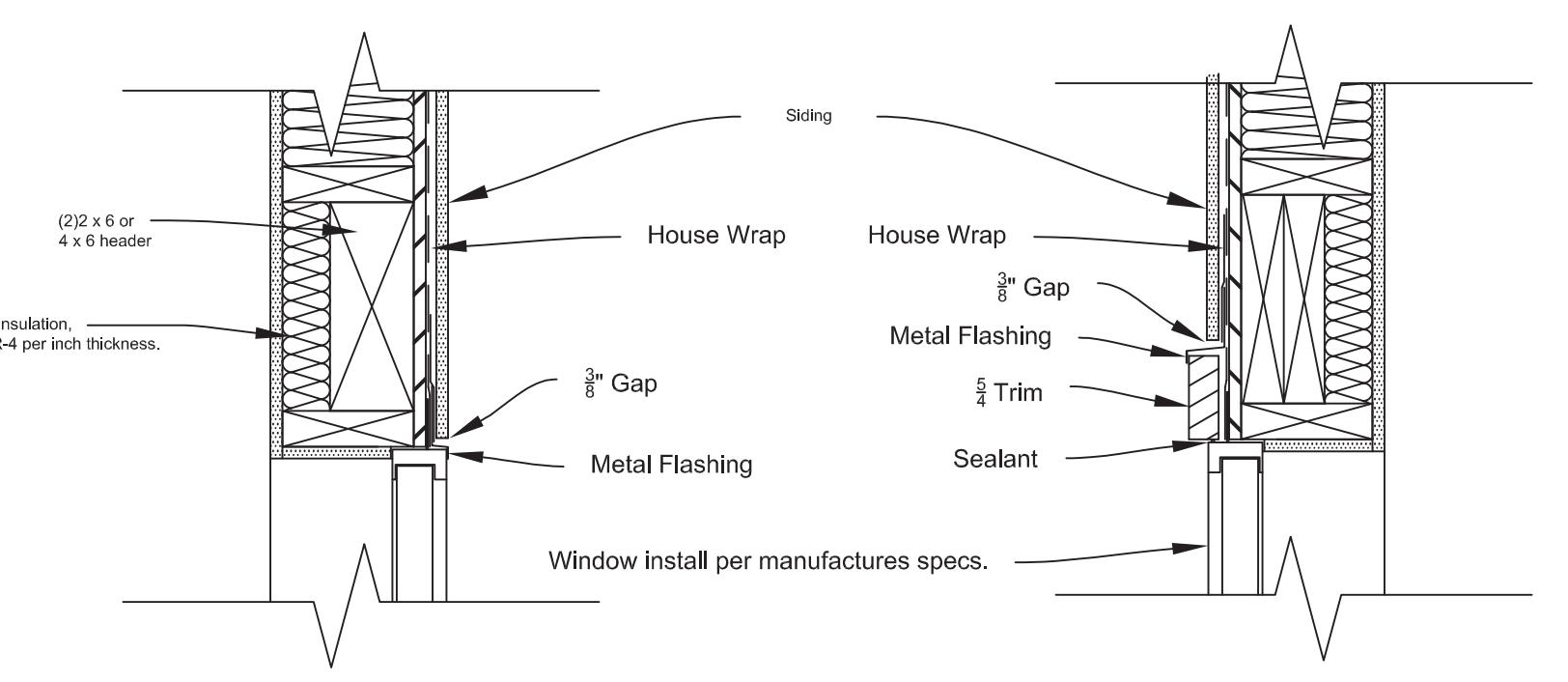
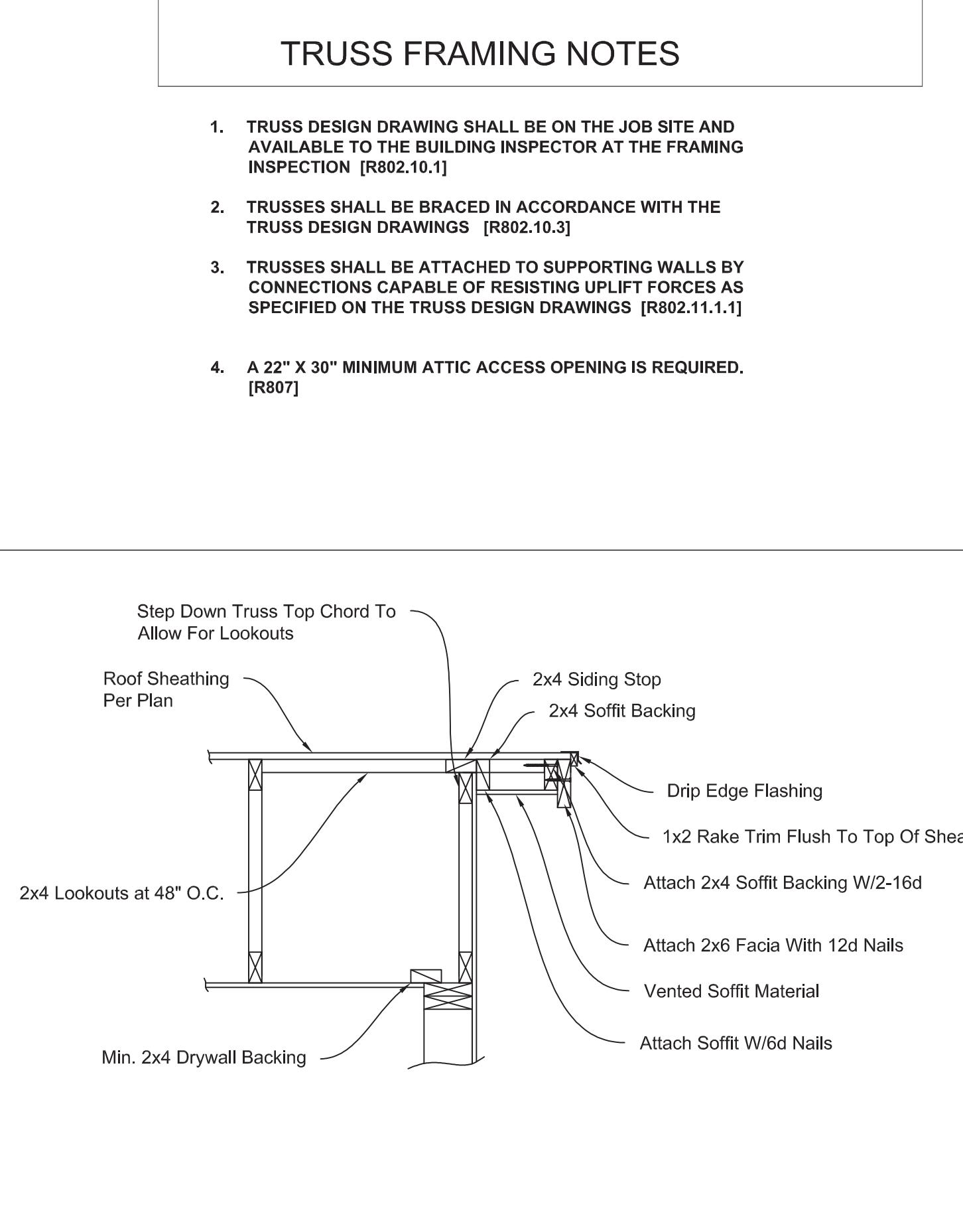


Detail A/04



Truss Bearing on 2x6 Exterior Wall
 With Vented Soffits

Detail B/04



Gable Porch Roof Pocket Framing

Detail C/04

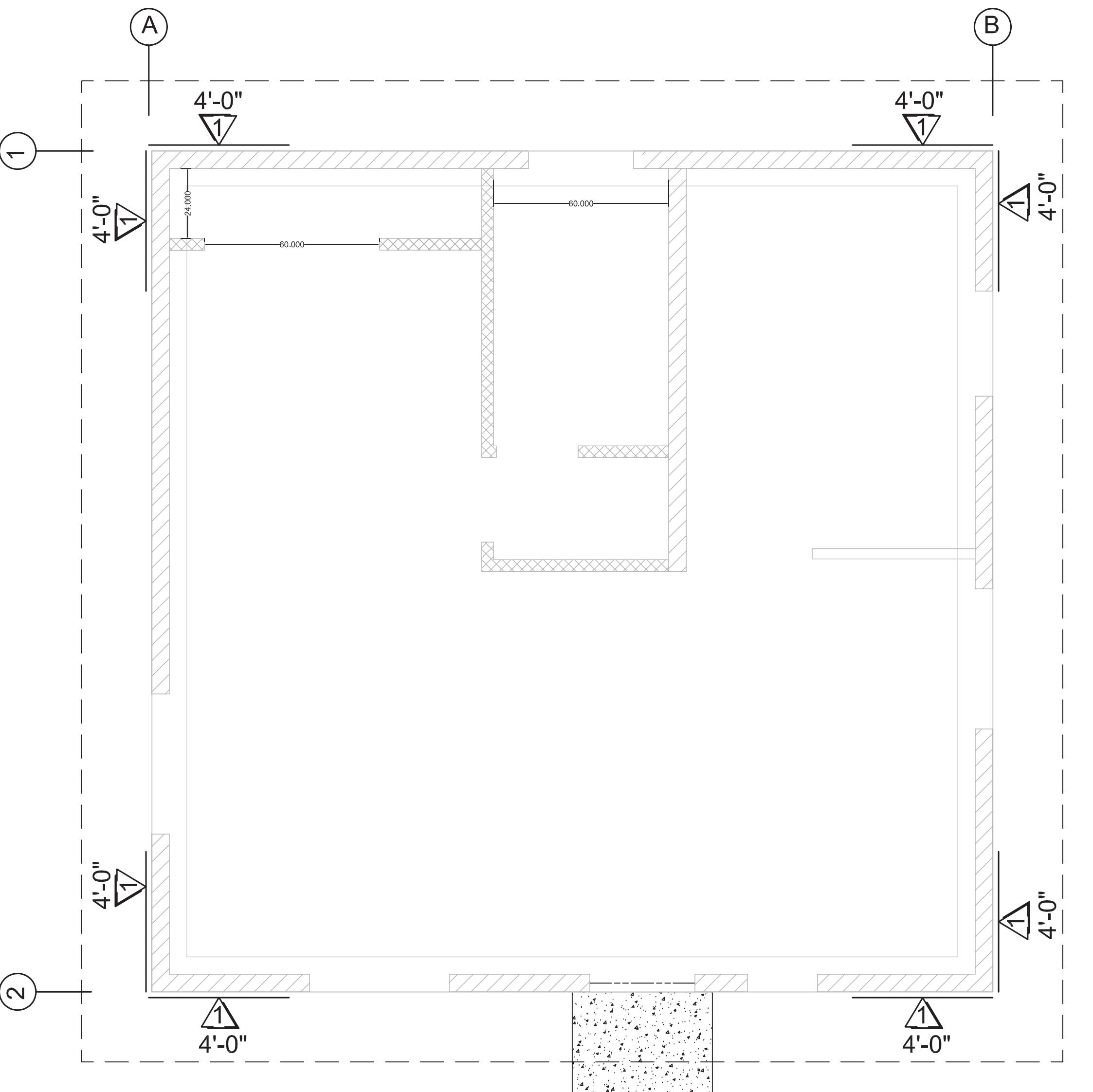
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Wall Bracing Plan

576SF ACCESSORY DWELLING UNIT

Sheet Number

05



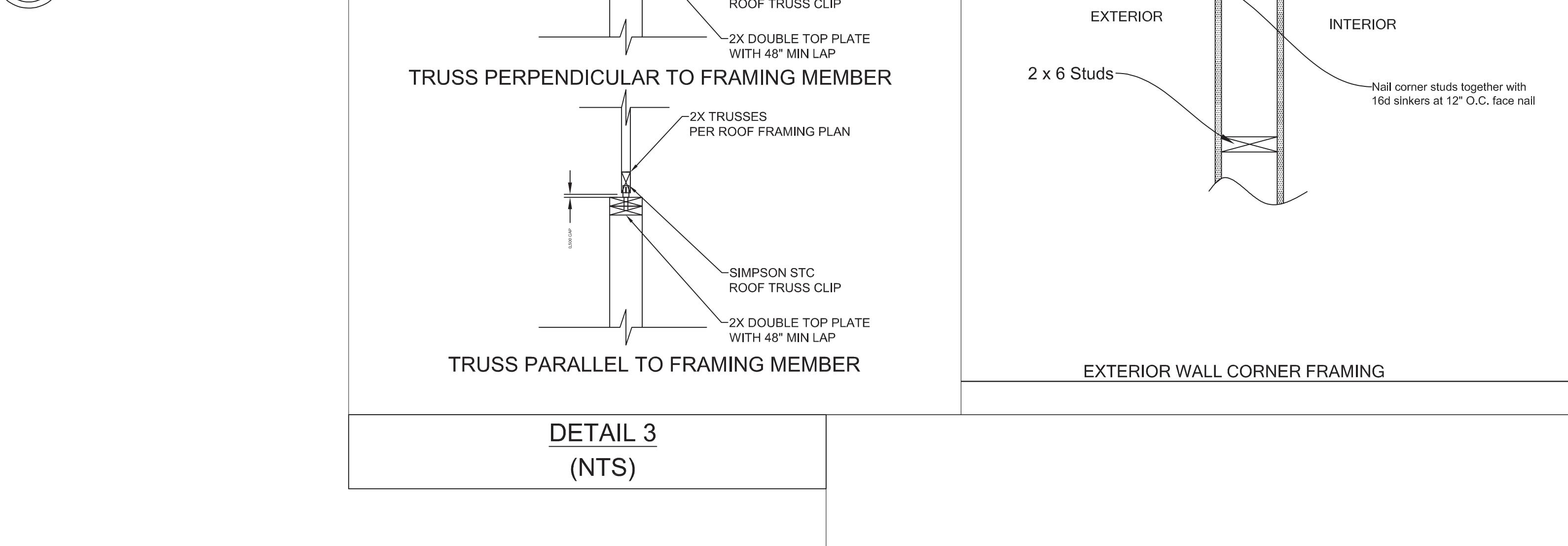
Braced wall line #	Braced wall line spacing (feet)	Minimum length of bracing per table R602.10.3(1) (before adj. factors)	2021 ORSC bracing Method	Exposure category adj. factor	Roof eave-to-ridge height adj. factor	Story height adj. factor	Number of Braced wall lines per plan direction adj. factor	Total minimum length of bracing required per table R602.10.3(1) after adjustment factors (feet)	Total length of braced wall panels provided (feet)
1	24	3.4	CS-WSP	1.00	.70	.90	1.00	2.14	8
2	24	3.4	CS-WSP	1.00	.70	.90	1.00	2.14	8
A	24	3.4	CS-WSP	1.00	.70	.90	1.00	2.14	8
B	24	3.4	CS-WSP	1.00	.70	.90	1.00	2.14	8

MARK	MINIMUM NAIL		MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMINAL PANEL THICKNESS (in)	MAXIMUM WALL STUD SPACING (in)	PANEL NAIL SPACING				
	SIZE	PENETRATION (in)				EDGES (inches o/c)	FIELD (inches o/c)			
1	6D COMMON	1.5	24:0	3/8"	16	6	12			
CS-WSP	8D COMMON	1.75	24:16	7/16"	16	6	12			

WOOD STRUCTURAL PANELS SHALL CONFORM TO DOC PS 1, DOC PS 2 OR ANSI/APA PRP 210, CSA O437 OR CSA O325. PANELS SHALL BE IDENTIFIED BY A GRADE MARK OR CERTIFICATE OF INSPECTION ISSUED BY AN APPROVED AGENCY.

VERTICAL JOINTS OF PANEL SHEATHING SHALL OCCUR OVER AND BE FASTENED TO COMMON STUDS. HORIZONTAL JOINTS IN BRACED WALL PANELS SHALL OCCUR OVER AND BE FASTENED TO COMMON BLOCKING OF A MINIMUM 1 1/2 INCH THICKNESS.

LEGEND

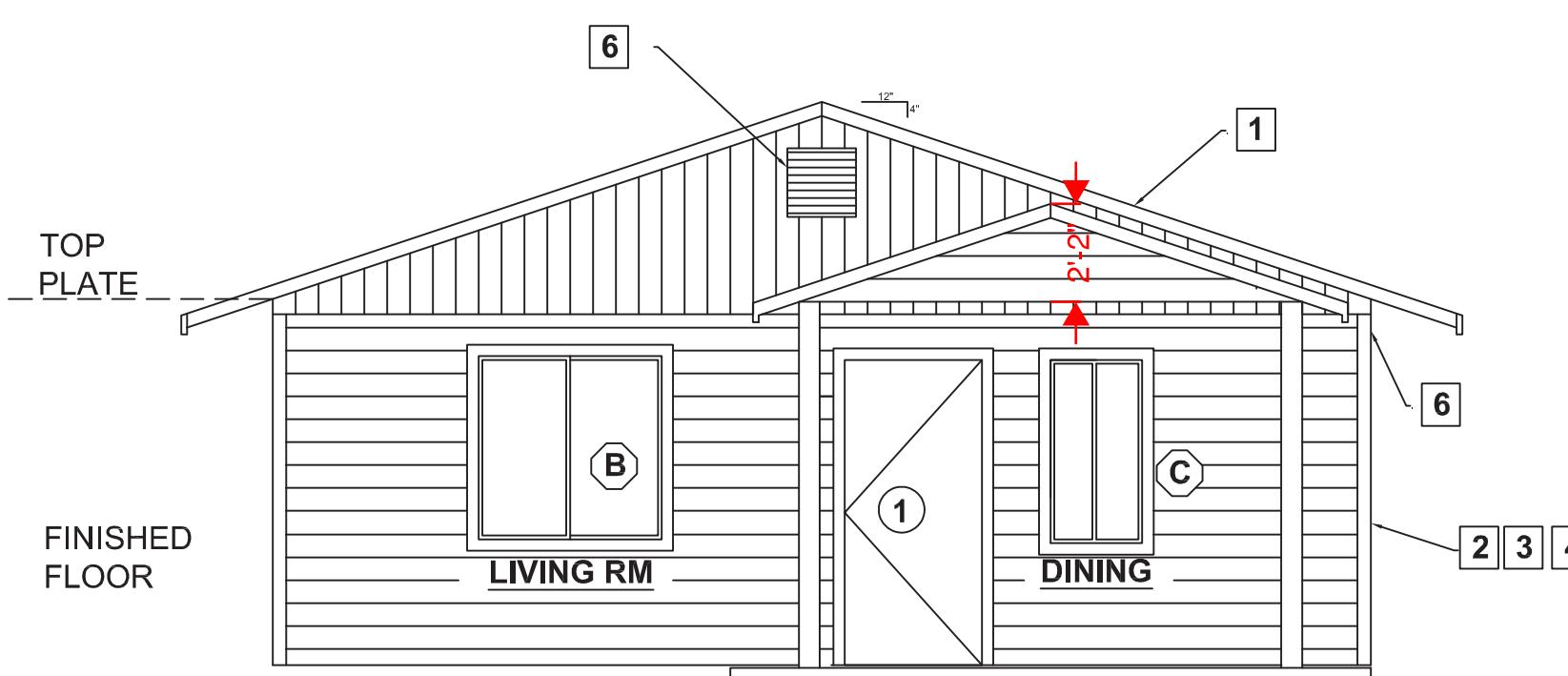


Elevation - Gable Roof

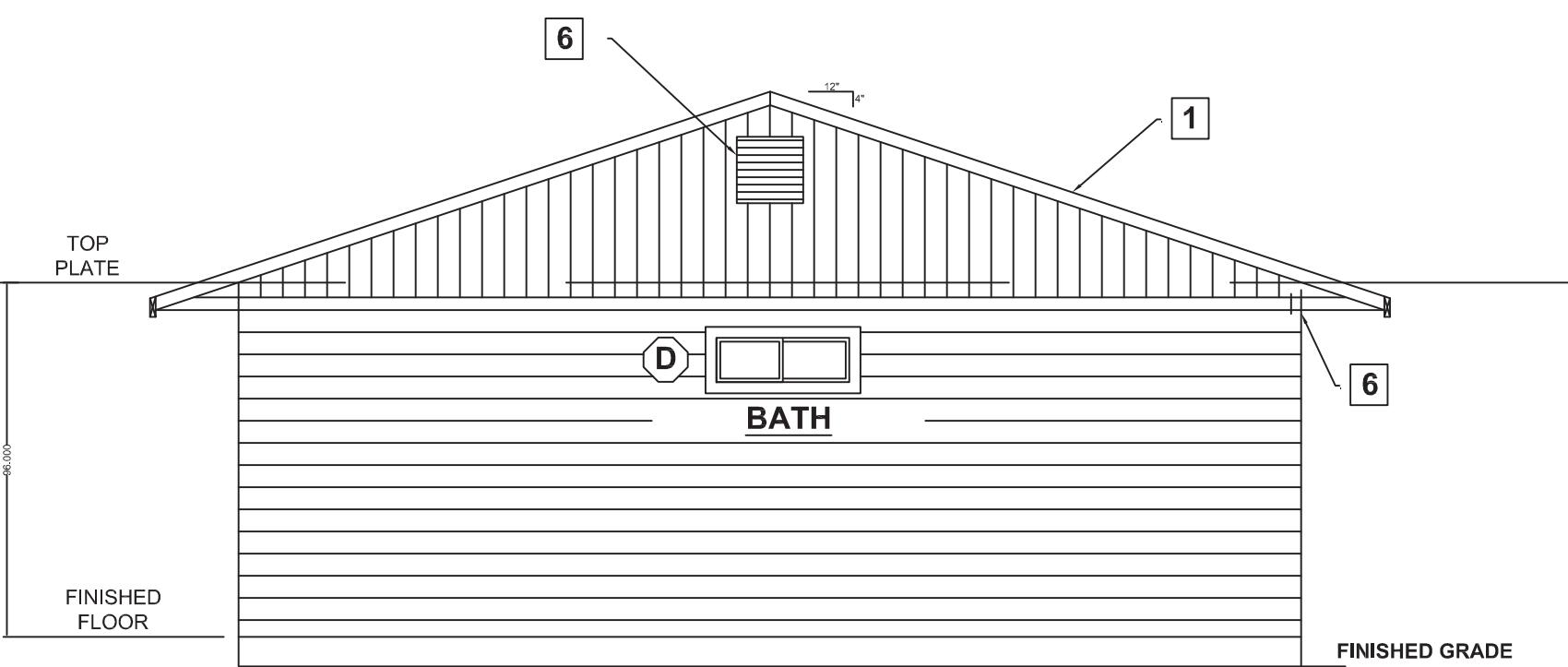
576SF ACCESSORY DWELLING UNIT

Sheet Number

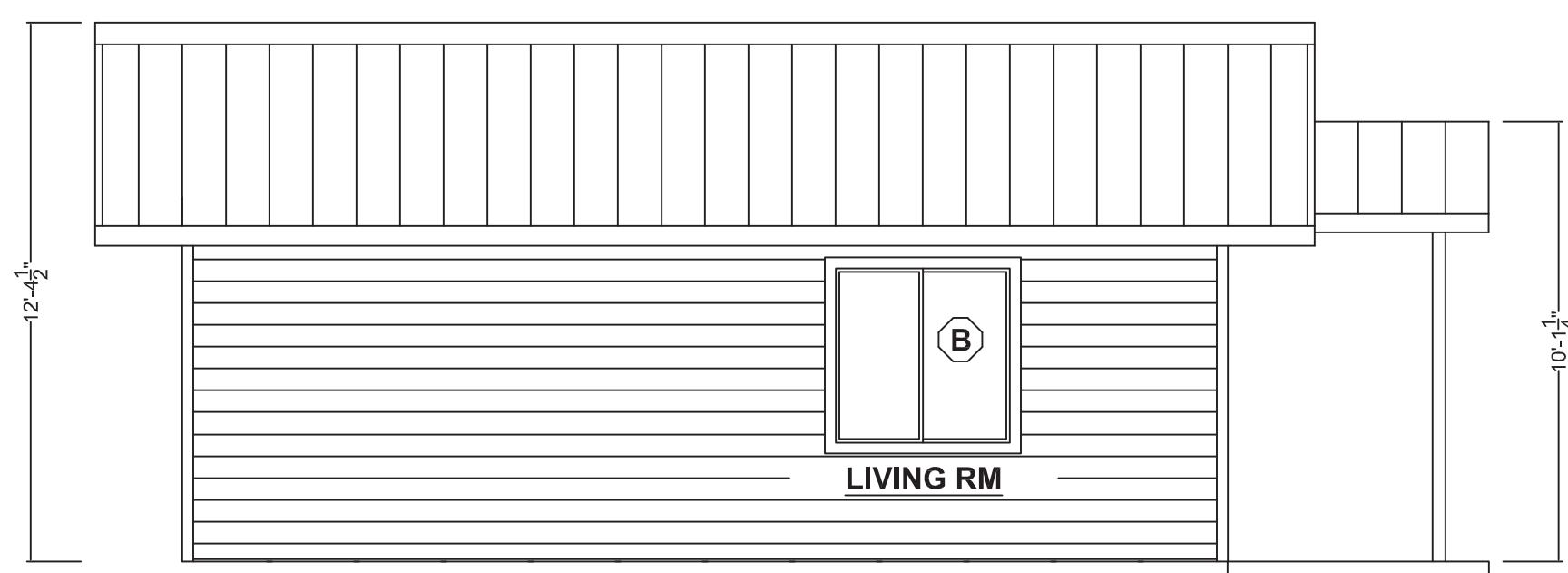
06A



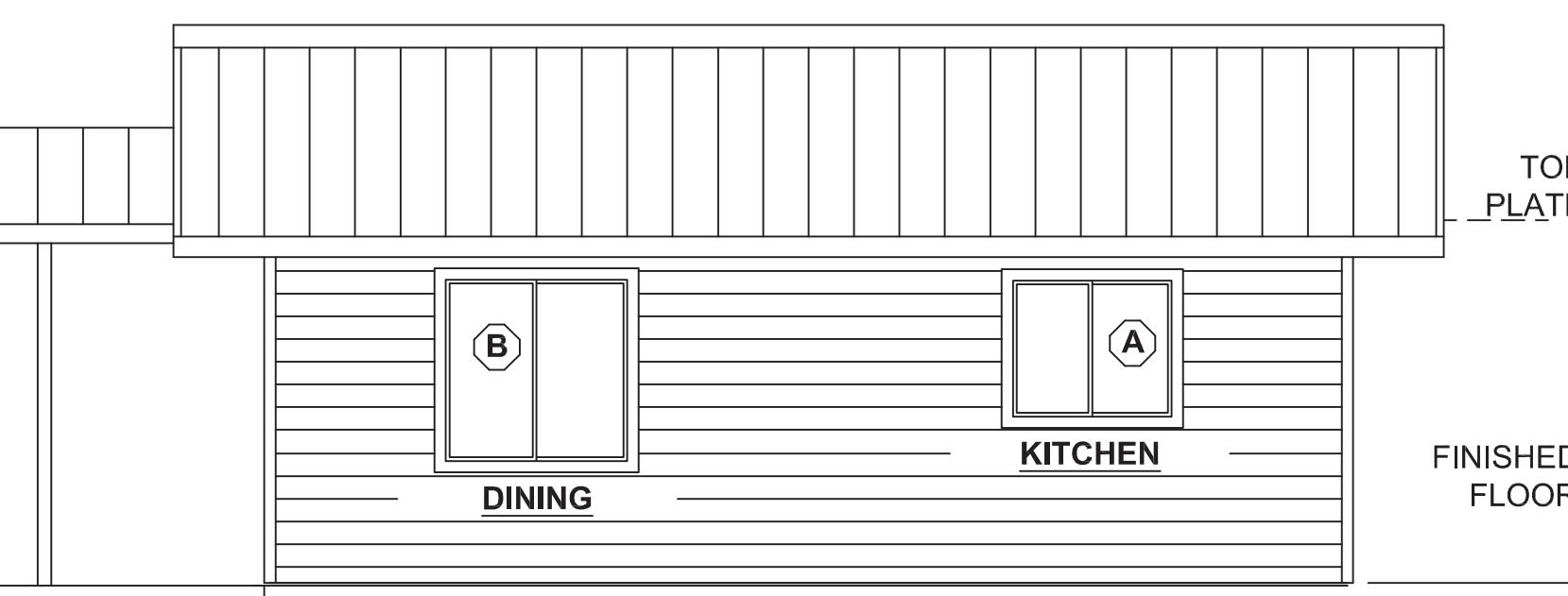
Front



Back



Left



Right

SCALE: $\frac{1}{4}$ " = 1'

ELEVATION KEY NOTES

1. ROOF MATERIAL: _____
2. EXTERIOR WALL COVERING _____
3. A WATER RESISTIVE BARRIER THAT MEETS THE 75% DRAINAGE EFFICIENCY REQUIREMENTS OF ASTM E2273 OR OTHER MEANS OF DRAINAGE COMPLYING WITH R703.1.1 SHALL BE PROVIDED BEHIND THE EXTERIOR SIDING, CLADDING OR VENEER.
4. EXTERIOR WALL COVERINGS SHALL BE SECURELY FASTENED WITH ALUMINUM, GALVANIZED, STAINLESS STEEL OR RUST PREVENTATIVE COATED NAILS OR STAPLES IN ACCORDANCE WITH TABLE R703.3(1) OR WITH OTHER APPROVED CORROSION-RESISTANT FASTENERS IN ACCORDANCE WITH THE WALL COVERING MANUFACTURER'S INSTALLATION INSTRUCTIONS. [R703.3.2]
5. CORROSION-RESISTANT FLASHING SHALL BE INSTALLED AT WINDOW AND DOOR OPENINGS AND ABOVE ALL PROJECTING WOOD TRIM. FLASHING SHALL BE APPLIED SHINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. [R703.4]
6. ENCLOSED ATTICS AND RAFTER SPACES SHALL BE PROVIDED WITH CROSS VENTILATION. NET VENTILATING AREA SHALL BE NOT LESS THAN 1/150TH OF THE AREA OF THE SPACE VENTILATED. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. PROVIDE A 1" MINIMUM AIR SPACE ABOVE INSULATION AND BAFFLE AT EAVE OR SOFFITT VENTS. [R806]

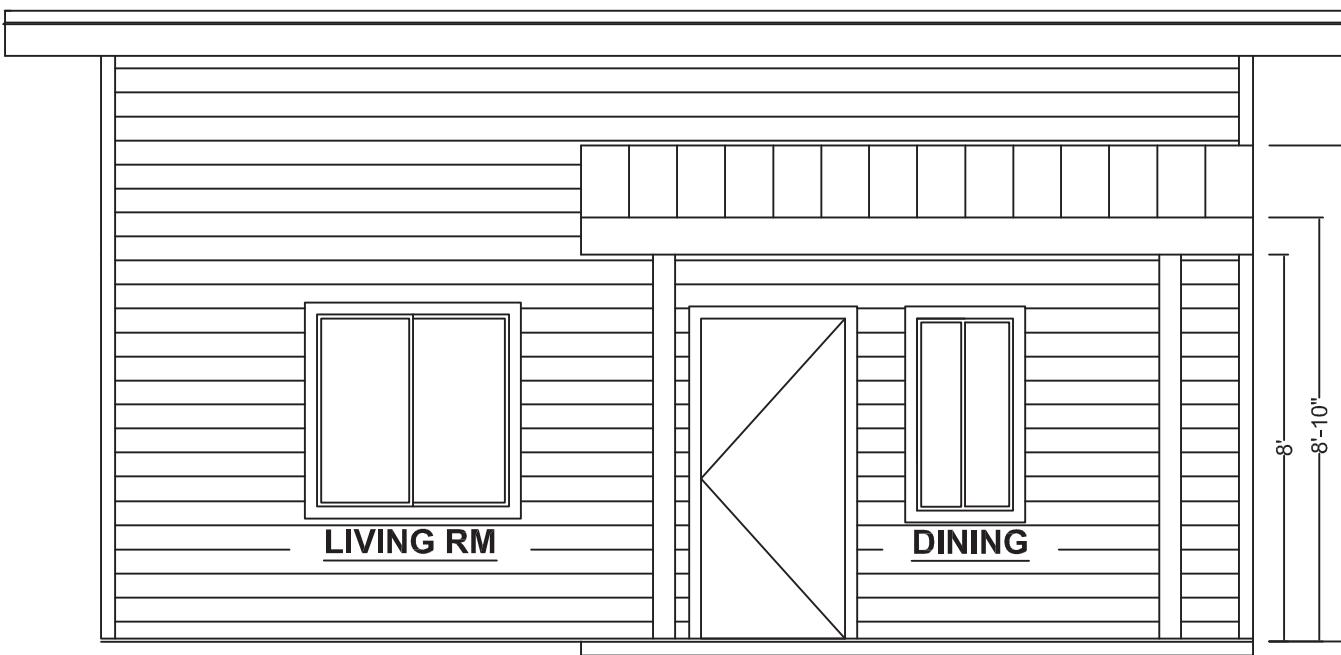
These plans are provided as a courtesy by the City of Bend for application and permitting purposes only. These plans were not designed by the City of Bend and the City bears no responsibility for the plans or resulting structure. The plans have been reviewed for minimum Oregon Residential Specialty Code compliance. By using these standard plans, the user agrees to release the City of Bend from any and all claims, liabilities, suits, and demands on account of any injury, damage, or loss to persons or property, including injury or death, or economic losses, arising out of the use of these construction documents. The use of these plans does not eliminate or reduce the user's responsibility to verify any and all information. These approved plans and any resulting permit issued shall not be construed to be a permit for, or an approval of, any violation of any of the provisions in the Oregon Residential Specialty Code or any other laws or ordinances of this jurisdiction. The approval of these plans and issuance of a permit based on construction documents and other data shall not prevent the building official from requiring the correction of errors in the construction documents and data. All applicable review and permitting fees still apply and use of these plans does not exempt applicants from any and all required fees or cost in the permitting process and further documentation requirements.

Elevation - Shed Roof

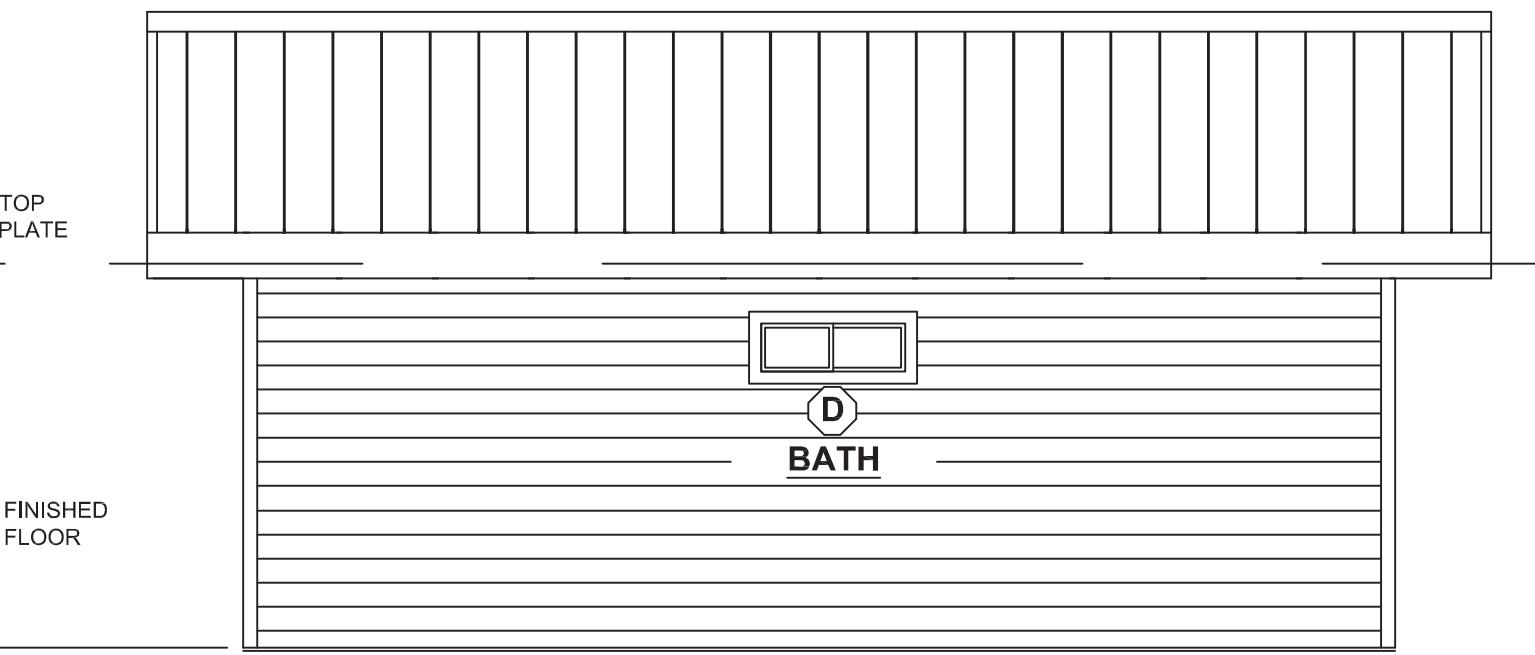
576SF ACCESSORY DWELLING UNIT

Sheet Number

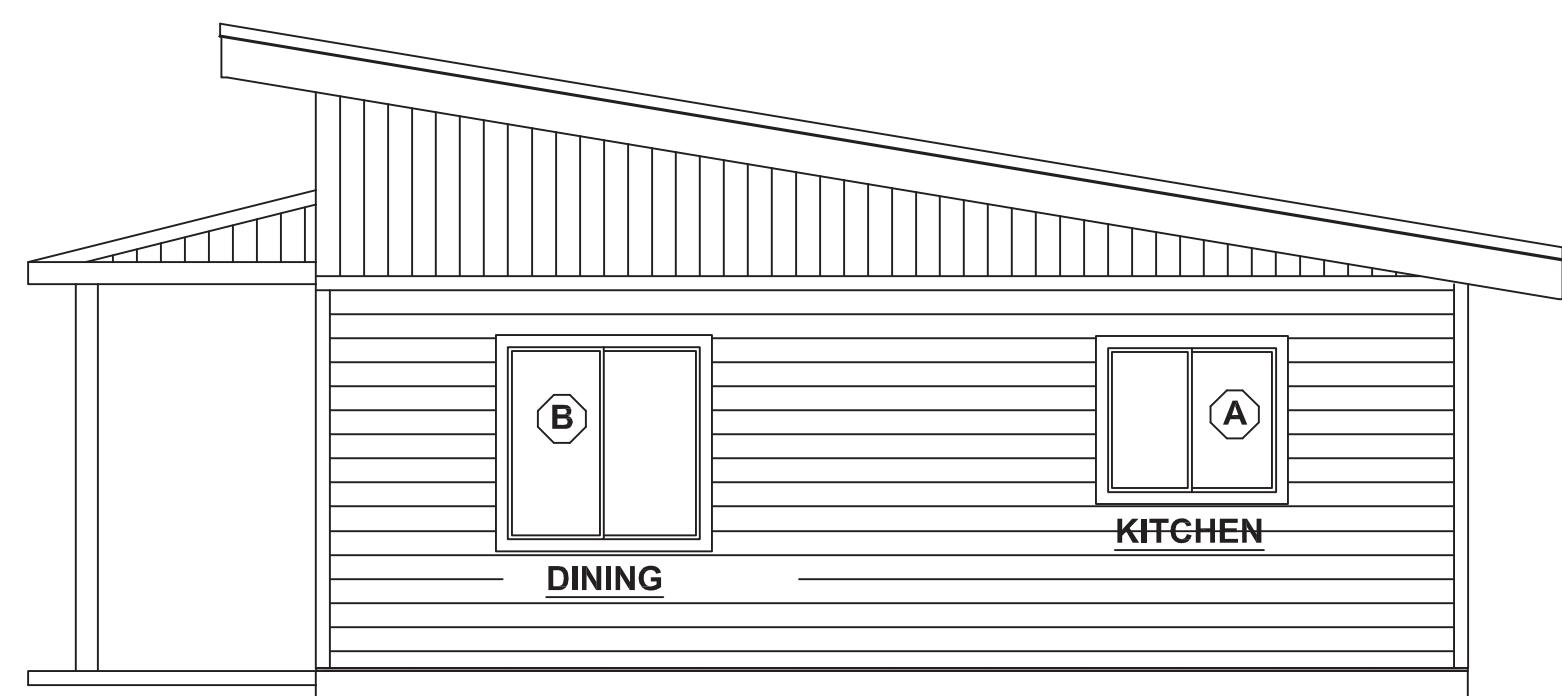
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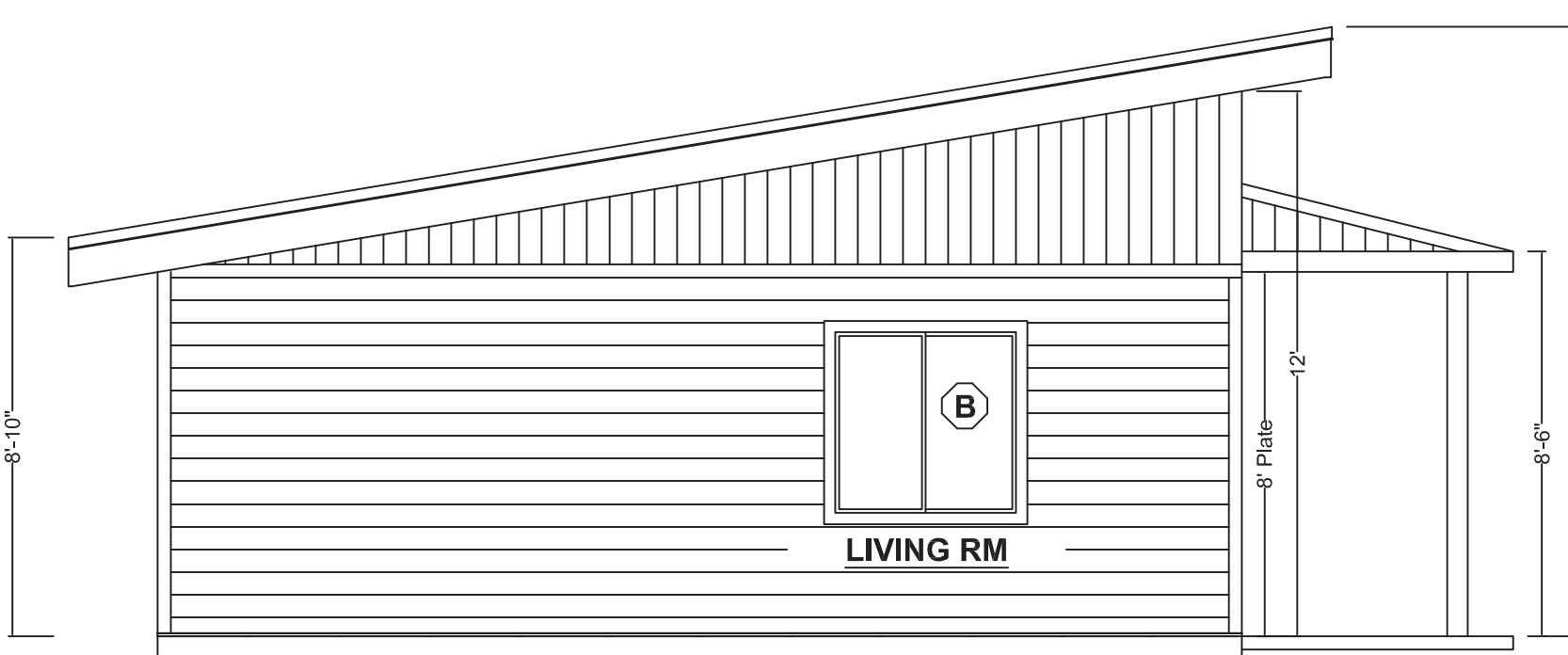
Front



Back



Right



Left

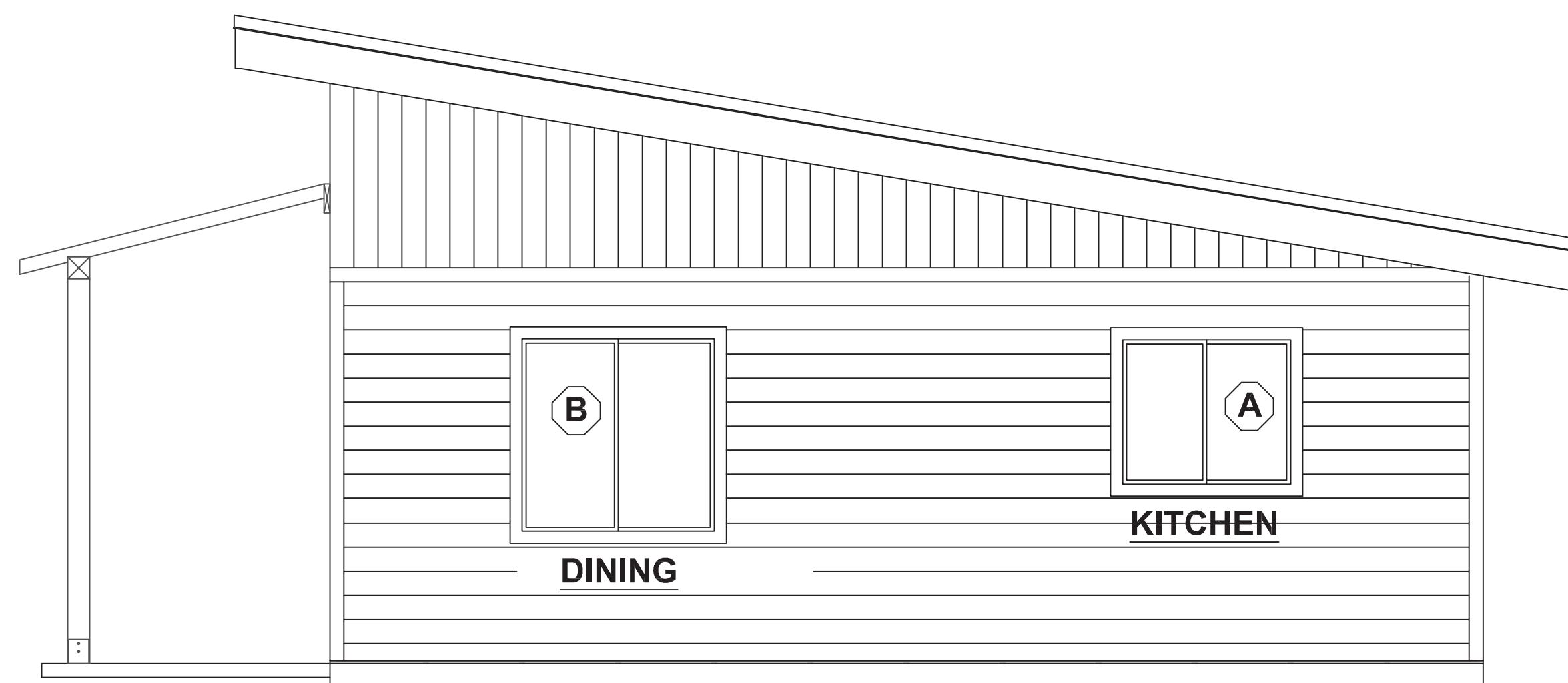
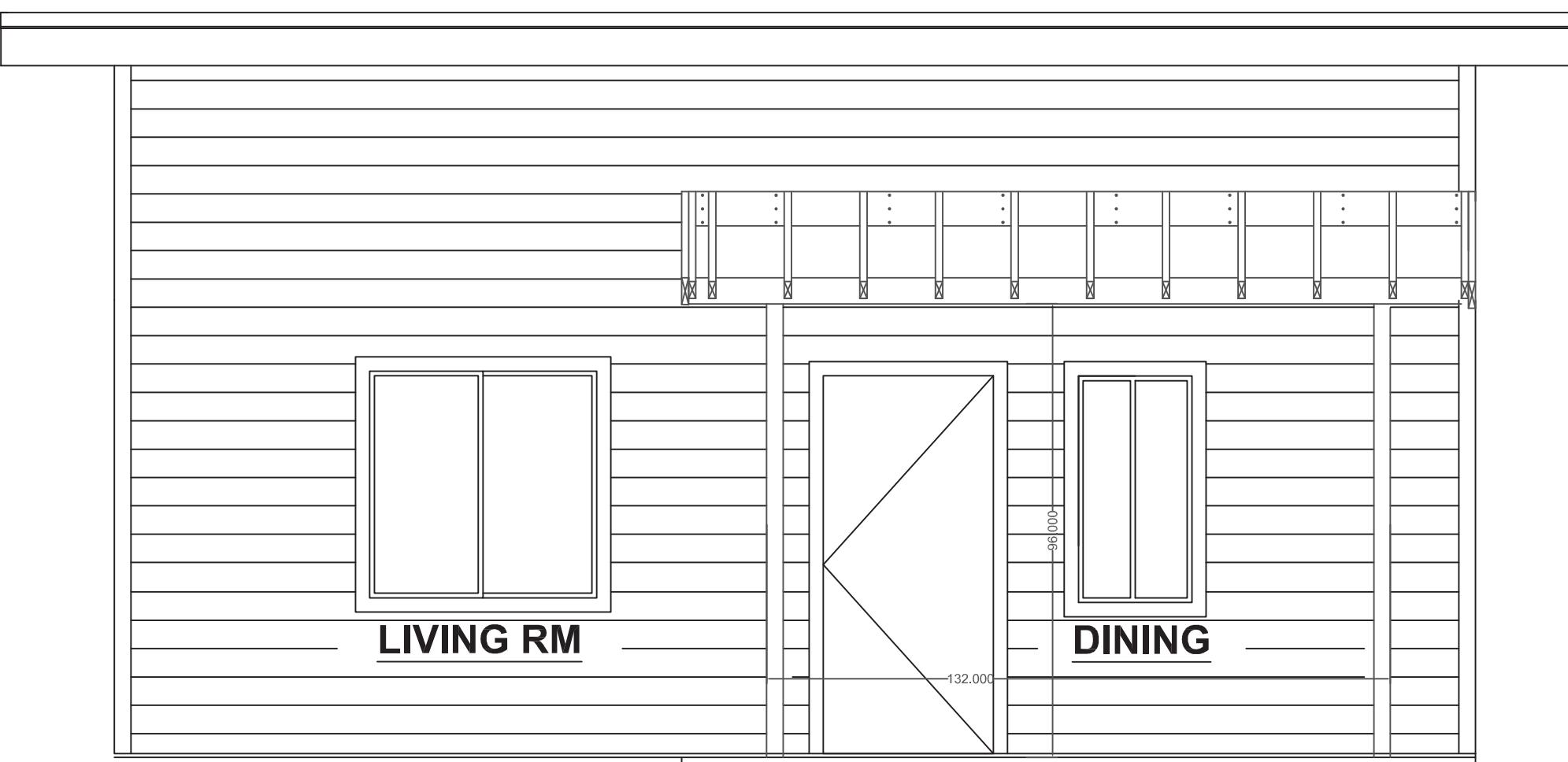
SCALE: $\frac{1}{4}$ " = 1'

ELEVATION KEY NOTES

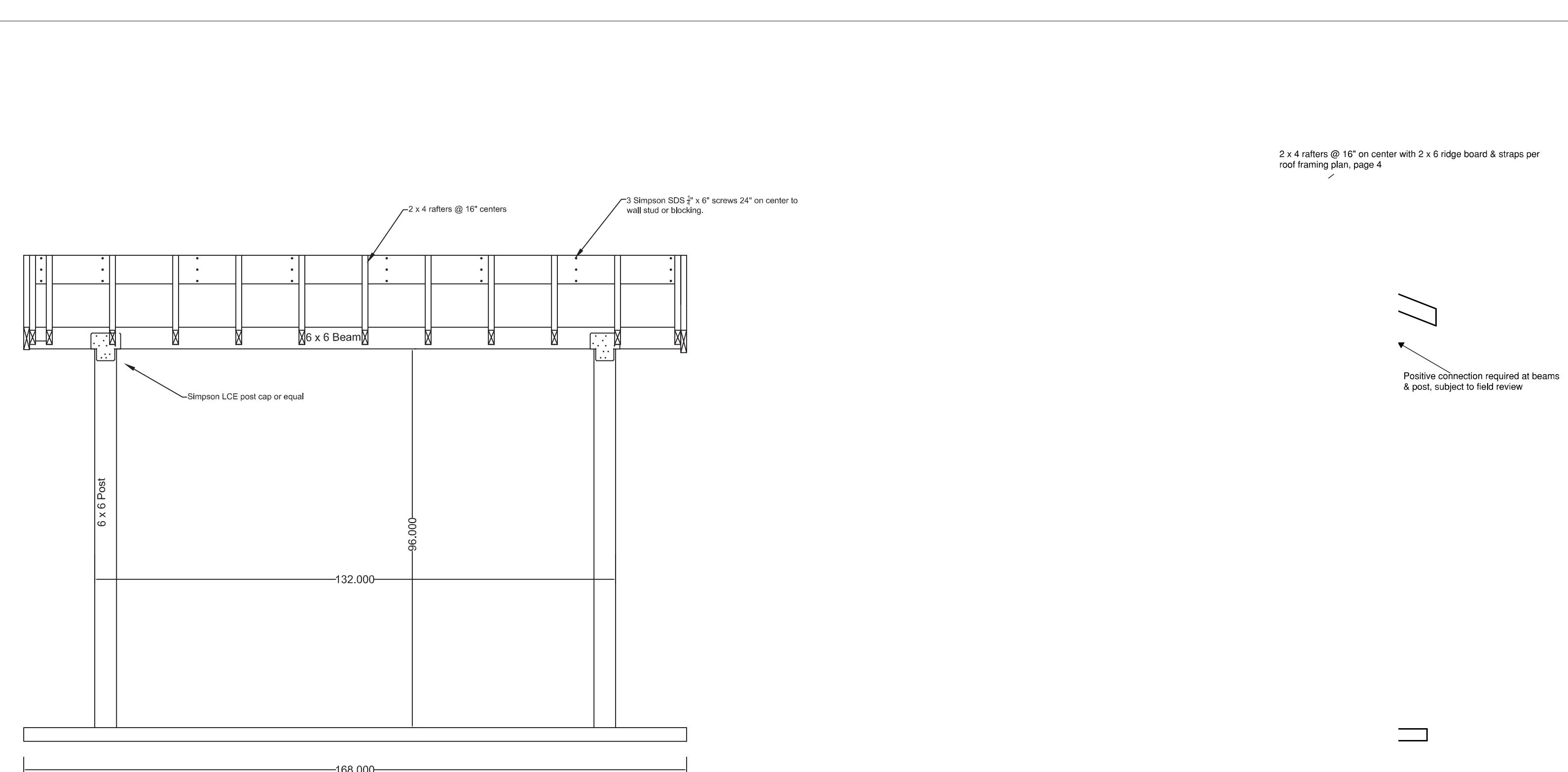
1. ROOF MATERIAL: _____
2. EXTERIOR WALL COVERING _____
3. A WATER RESISTIVE BARRIER THAT MEETS THE 75% DRAINAGE EFFICIENCY REQUIREMENTS OF ASTM E2273 OR OTHER MEANS OF DRAINAGE COMPLYING WITH R703.1.1 SHALL BE PROVIDED BEHIND THE EXTERIOR SIDING, CLADDING OR VENEER.
4. EXTERIOR WALL COVERINGS SHALL BE SECURELY FASTENED WITH ALUMINUM, GALVANIZED, STAINLESS STEEL OR RUST PREVENTATIVE COATED NAILS OR STAPLES IN ACCORDANCE WITH TABLE R703.3(1) OR WITH OTHER APPROVED CORROSION-RESISTANT FASTENERS IN ACCORDANCE WITH THE WALL COVERING MANUFACTURER'S INSTALLATION INSTRUCTIONS. [R703.3.2]
5. CORROSION-RESISTANT FLASHING SHALL BE INSTALLED AT WINDOW AND DOOR OPENINGS AND ABOVE ALL PROJECTING WOOD TRIM. FLASHING SHALL BE APPLIED SHINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. [R703.4]
6. ENCLOSED ATTICS AND RAFTER SPACES SHALL BE PROVIDED WITH CROSS VENTILATION. NET VENTILATING AREA SHALL BE NOT LESS THAN 1/150TH OF THE AREA OF THE SPACE VENTILATED. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. PROVIDE A 1" MINIMUM AIR SPACE ABOVE INSULATION AND BAFFLE AT EAVE OR SOFFITT VENTS. [R806]

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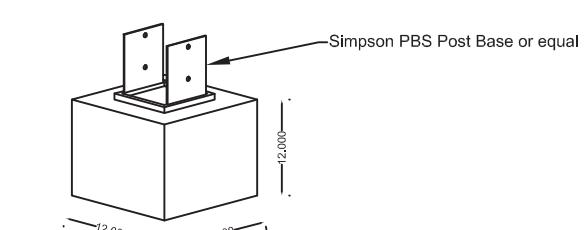
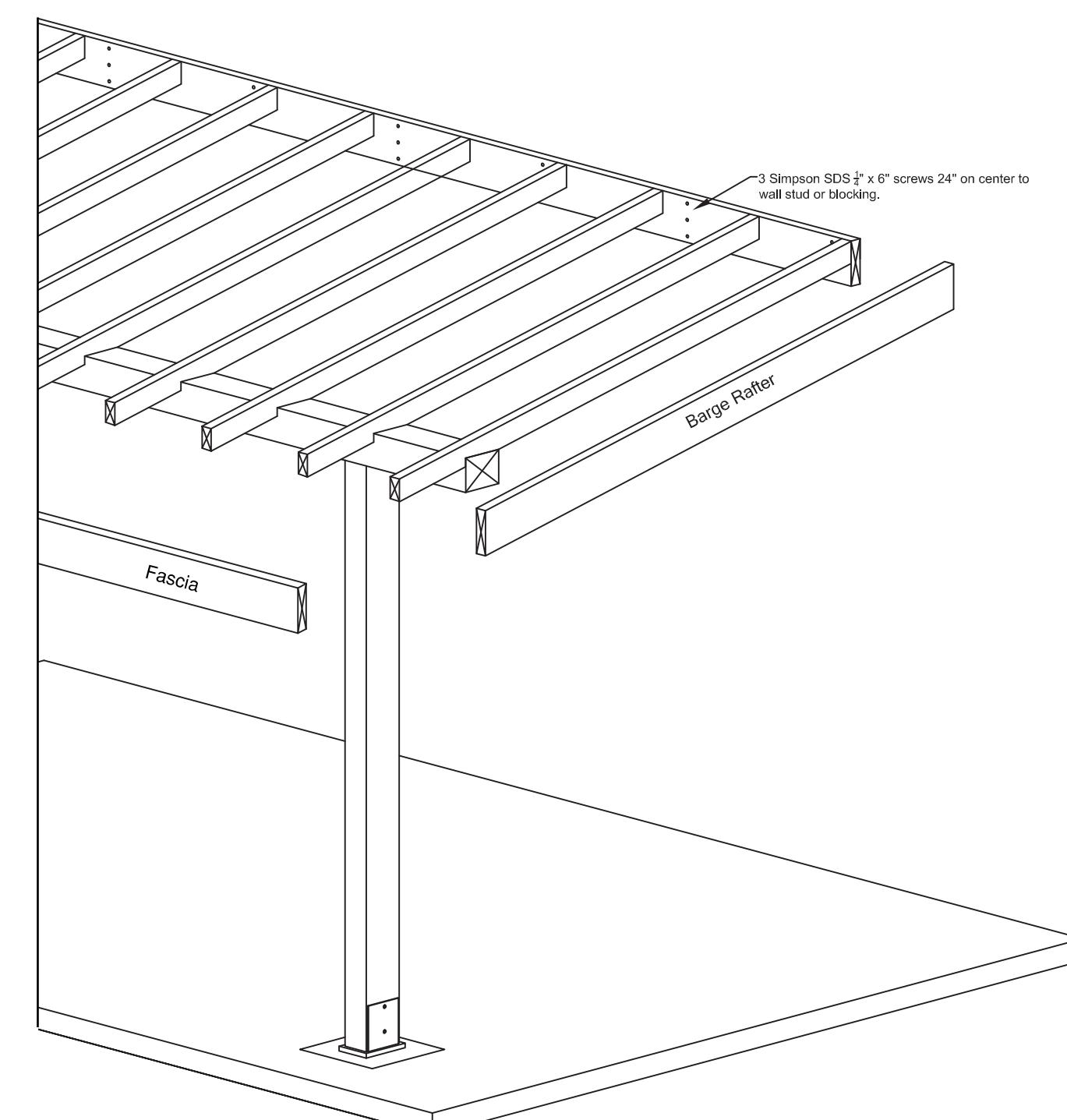
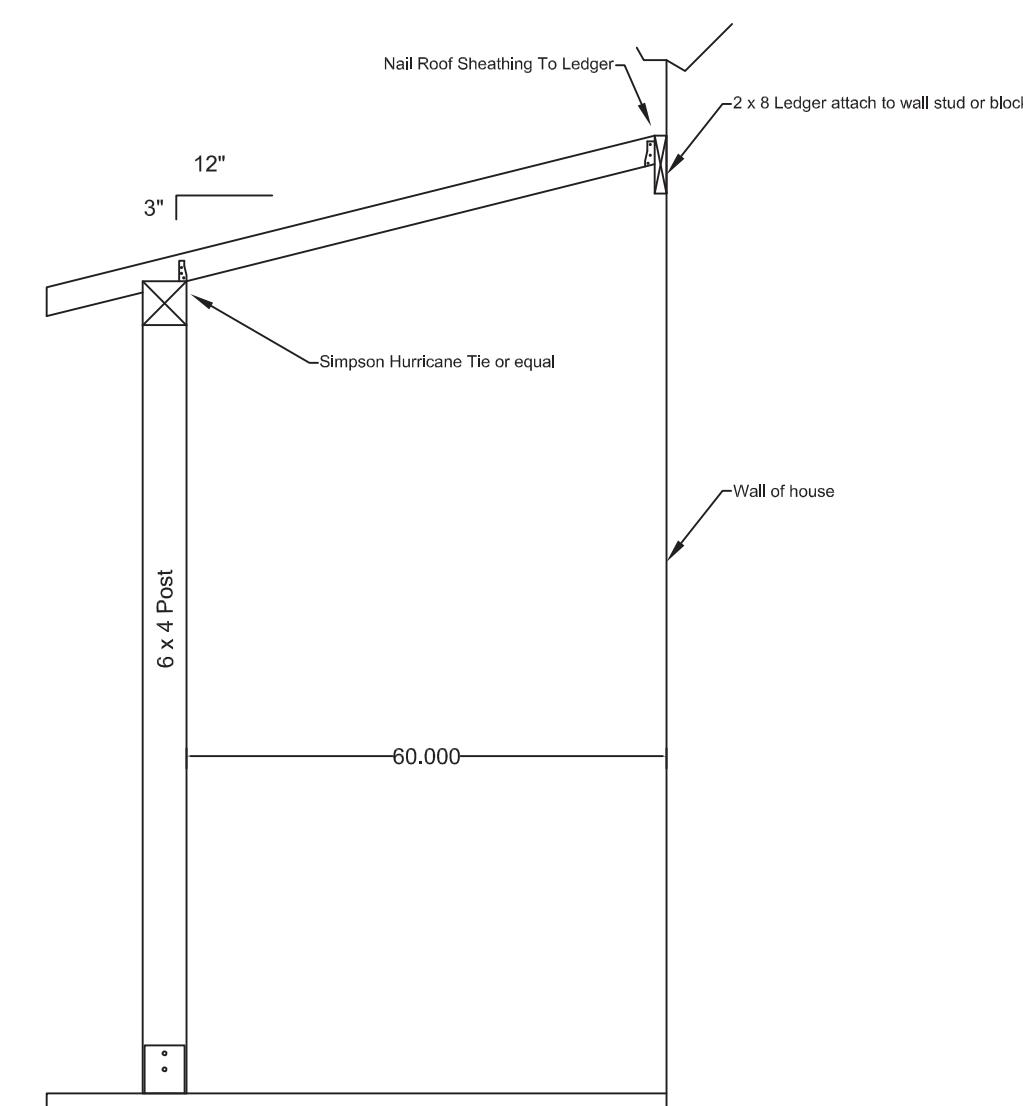
$\frac{3}{8}$ " Scale



Sheet Number

$\frac{3}{8}$ " Scale

EXTERIOR FOOTINGS SHALL EXTEND 18" BELOW THE GRADE PLANE
PER R403.1.4 AND TABLE R301.2(1)



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