



SHED ROOF OPTION



GABLE ROOF OPTION



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SHEET INDEX	
#	NAME
GS	General-Gable Roof
01	Site Plan and Index
02	Floor Plan
03A	Foundation-Slab on Grade
03B	Foundation-Post and Beam
04	Roof Framing Plan
05	Wall Bracing Plan
06-A	Elevations-Gable Roof
06-B	Elevation-Shed Roof
07	Sections-Gable
08A	Small Porch Cover-Option #1
08B	Medium Porch Cover-Option #2
08C	Large Porch Cover-Option #3
8.000	Shed Roof-Option #4

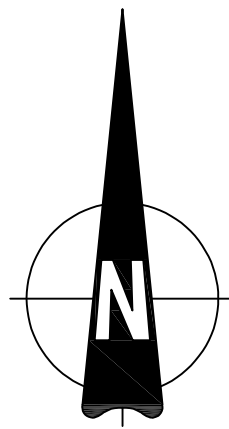
GENERAL CODES

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES  
-2021 OREGON RESIDENTIAL SPECIALTY CODE (ORSC)  
-2021 OREGON ELECTRICAL SPECIALTY CODE (OESC)  
-2021 OREGON PLUMBING SPECIALTY CODE (OPSC)

DESIGN BASIS

CONVENTIONAL LIGHT FRAME CONSTRUCTION

GROUND SNOW LOAD: 36 PSF (Prescriptive design)  
ROOF SNOW LOAD: 25 PSF (Engineered design)  
BASIC DESIGN WIND SPEED: 98 MPH  
EXPOSURE CATEGORY: B  
SITE CLASS: D  
RISK CATEGORY: II  
SEISMIC DESIGN CATEGORY: C  
ASSUMED SOIL VERTICAL BEARING PRESSURE: 1500 PSF  
ASSUMED SOIL LATERAL BEARING PRESSURE: 100 PSF/FT



SCALE: 1" =

VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PROJECT SCOPE	INFORMATION REQUIREMANTS	IMPERVIOUS AREA INFORMATION	SHEET TITLE																														
	NAME:	NAME:	PROPOSED 576 SF DETACHED ACCESSORY DWELLING UNIT	<ul style="list-style-type: none"><li>PROPERTY LINES WITH DIMENSIONS</li><li>NORTH ARROW</li><li>DRAWN TO STANDARD SCALE (MINIMUM 1:20)</li><li>STRUCTURES DIMENSIONED AND SETBACKS SHOWN BOTH EXISTING AND PROPOSED</li><li>STORM WATER DESTINATION</li></ul>	<table><tr><th colspan="5">IMPERVIOUS SURFACE AREA TABLE</th></tr><tr><th>SITE ID</th><th>IMPERVIOUS ITEM</th><th>DIMENSIONS</th><th>NEW OR REPLACED AREA (sf)</th><th>EXISTING AREA (sf)</th></tr><tr><td>1</td><td>ADU + OVERHANGS</td><td>32'-7" x 24'-0"</td><td>782 SF</td><td></td></tr><tr><td>2</td><td>SFD</td><td></td><td></td><td></td></tr><tr><td>3</td><td>DRIVEWAY</td><td></td><td></td><td></td></tr><tr><td>4</td><td></td><td></td><td></td><td></td></tr></table>	IMPERVIOUS SURFACE AREA TABLE					SITE ID	IMPERVIOUS ITEM	DIMENSIONS	NEW OR REPLACED AREA (sf)	EXISTING AREA (sf)	1	ADU + OVERHANGS	32'-7" x 24'-0"	782 SF		2	SFD				3	DRIVEWAY				4					SITE PLAN
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PHONE:	PHONE:	01																																		
EMAIL:	EMAIL:																																			

FLOOR PLAN NOTES

1.

Exterior walls located less than 3 feet from a property line must be 1-hour fire-resistance rated, with no openings allowed. [R302.1]
2.

Permanent heating facilities capable of maintaining a room temperature of not less than 68°F shall be provided. Portable space heaters shall not be used to meet this requirement. [R303.10]
3.

Habitable rooms shall have a floor area of not less than 70 square feet and not less than 7 feet in any horizontal dimension. [R304]
4.

Habitable rooms and hallways shall have a minimum 7-foot ceiling height. Bathrooms and laundry rooms shall have a ceiling height of not less than 6 feet 8 inches. Refer to R305 for sloped ceiling allowances.
5.

Tempered or other safety glazing complying with the impact test requirements of R 308.3 must be installed in hazardous locations identified in R308.4, including:
  - glazing in doors;
  - glazing in the plane of a door where the glazing is within 24" of the door
  - glazing in a wall perpendicular to a door where the glazing is within 24" of the hinge side of an in-swinging door.
  - glazing that is greater than 9 square feet in area and within 36" horizontally from a walking surface, if the bottom edge is less than 18" above the floor and the top edge is more than 36" above the floor.
  - glazing in guards and railings.
  - glazing in tub/shower walls or enclosures where the glazing is less than 60" above the standing surface and within 60" horizontally of the edge of the tub or shower.
6.

Every sleeping room shall have not less than one operable emergency egress opening [R310.1]. Emergency egress openings shall have a net clear opening of not less than 5.7 sq ft. The net clear opening height shall be not less than 24" and the net clear opening width shall be not less than 20" [R310.2.1 See Exceptions]. Minimum sill height for egress openings shall not exceed 44" [R310.2.2].
7.

A landing is required on the exterior side of the exterior egress door [R311.3]. The width of the landing shall not be less than the door served and the dimension in the direction of travel not be less than 36". The landing shall be not more than 1½" below the top of the threshold if the door swings out over the landing. The landing shall be not more than 8" below the top of the threshold if the door does not swing over the landing [R311.3.1].
8.

Smoke and Carbon Monoxide Alarms. [R314 and R315]
  - Smoke alarms listed in accordance with UL 217 shall be installed in each bedroom and out side of each separate sleeping area in the immediate vicinity of the bedrooms.
  - Smoke alarms shall be hard-wired with battery backup. Multiple smoke detectors shall be interconnected so that activation of one alarm will activate all alarms.
  - Smoke alarms must be installed in accordance with the manufacturer's instructions and shall be located to comply with the following:

1

At least 3 feet horizontally from a door to a bathroom containing a tub or shower.

2

Ionization smoke alarm with alarm-silencing switch: at least 10 feet horizontally from permanent Cooking appliance.

3

Ionization smoke alarm w/o alarm-silencing switch: at least 20 feet horizontally from permanent cooking appliance.

4

Photoelectric smoke alarm: at least 6 feet horizontally from permanent cooking appliance..
9.

All rooms containing a tub and/or shower shall be provided with an 80 cfm minimum exhaust fan controlled by a dehumidistat timer or similar means of automatic control. The exhaust air must be discharged outside of the building. [R303.3] [M1505.5]
10.

Minimum shower compartment area: 1,024 sq. in.; shall also be capable of encompassing a 30" circle. [OPSC 408.6].
11.

Showers shall be equipped with control valves of the pressure balance, thermostatic mixing or the combination pressure balance/thermostatic mixing valve type with maximum mixed water setting of 120 degrees Fahrenheit. [OPSC 408.3].
12.

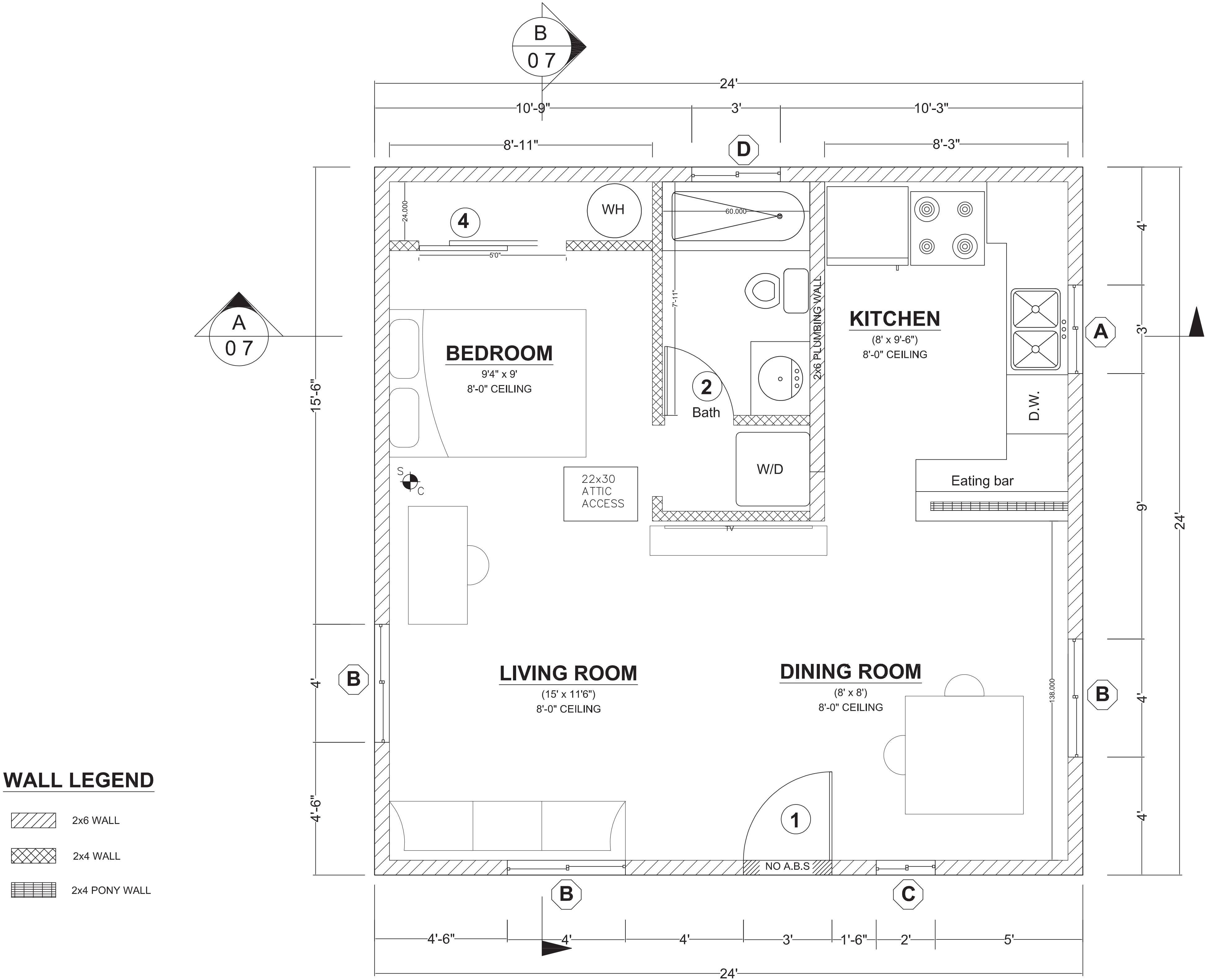
Combustion air is required for solid fuel burning appliances, per manufacturer's instructions. [M1701.1]
13.

Range exhaust installation per manufactures installation instruction.
14.

A whole-house ventilatio system must be provided. The whole-house ventilation system must be balanced (exhaust air equal to make-up air). [R303.4 and M1505.4]

Whole House ventilation system proposed:  
\_\_\_ HRV or ERV  
  
\_\_\_ Other (describe) \_\_\_\_\_

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WALL LEGEND

- 2x6 WALL
- 2x4 WALL
- 2x4 PONY WALL

WINDOW SCHEDULE

MARK	DIMENSION	TYPE	TEMPERED	NOTES
(A)	3'-0" x 3'-0"	SLIDING		
(B)	4'-0" x 4'-0"	SLIDING		
(C)	2'-0" x 4'-0"	FIXED	Y	
(D)	3'-0" x 1'-0"	SLIDING		

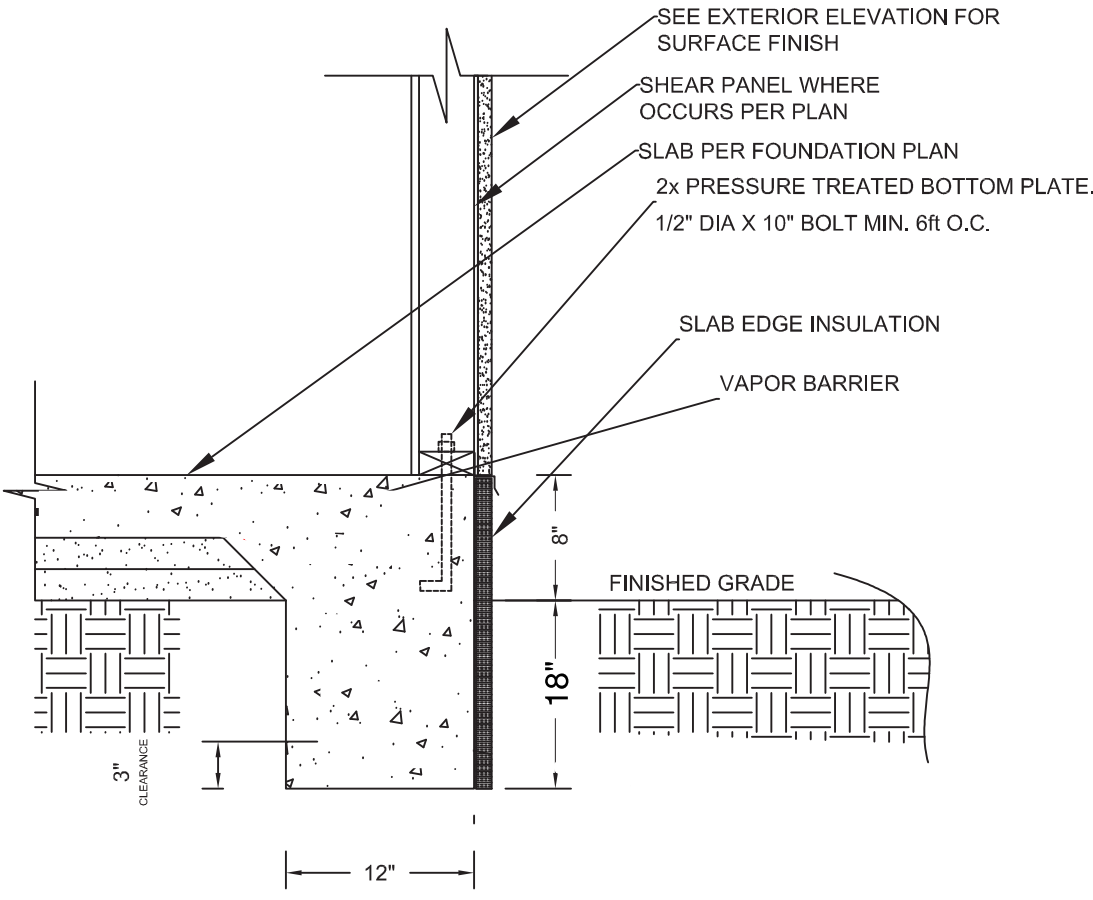
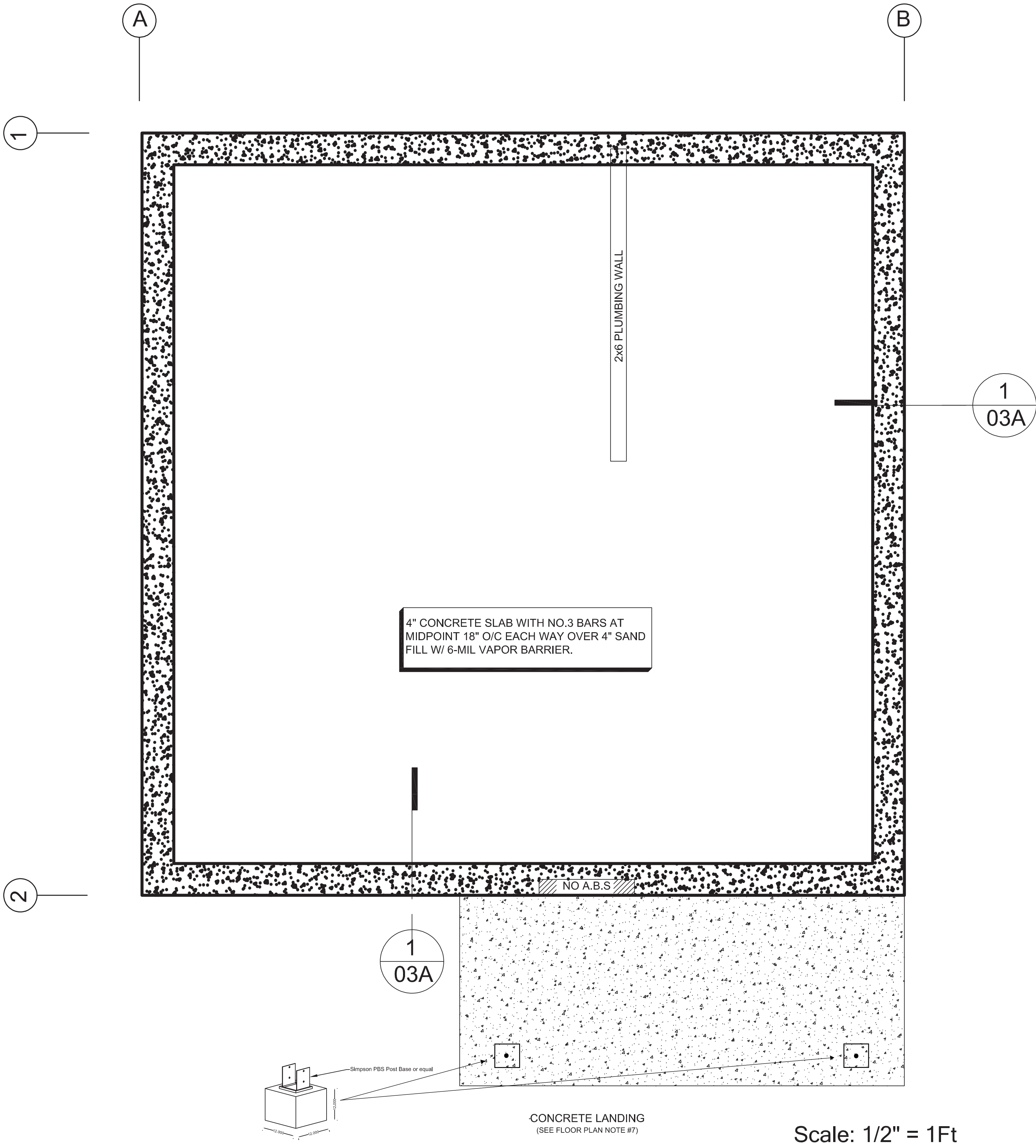
Exterior windows shall be tested by an approved independent laboratory and bear a label identifying the manufacturer, thermal performance including the U-factor and approved inspection agency to indicate compliance with AAMA/WDMA/CSA 101/ I.s.2/A440. [R609.3; N1104.4.1]

Labels shall remain attached to the windows until the building inspector inspects and verifies the labeling. [N1104.4.1]

DOOR SCHEDULE

MARK	DIMENSION	TYPE	TEMPERED	NOTES
(1)	3'-0" x 6'-8"	SWINGING		1-3/8" SOLID CORE
(2)	2'-8" x 6'-8"	SWINGING		
(3)		BI-FOLD		LAUNDRY ROOM
(4)	5'-0" x 6'-8"	SLIDING		5FT CLOSET

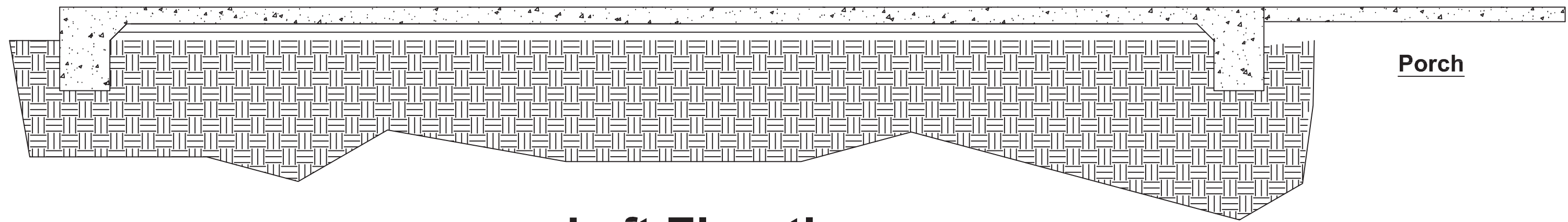




DETAIL 1  
(NTS)

FOUNDATION PLAN NOTES

1. ALL ANCHORS BOLTS SHALL BE 1/2" DIAMETER AND HAVE A MINIMUM EMBEDMENT OF 7 INCHES INTO CONCRETE (UNO) AND NOT SPACED MORE THAN 6 FEET APART [R403.1.6]
2. HOLE IN PLATE WASHER MAY BE DIAGONALLY SLOTTED WITH MAXIMUM 3/4" LARGER WIDTH THAN BOLT DIAMETER AND MAXIMUM 1-3/4" SLOT LENGTH [R602.11.1]
3. PROVIDE A MINIMUM OF TWO ANCHOR BOLTS PER SILL PLATE WITH ONE BOLT LOCATED MAXIMUM 12" AND MINIMUM 7 BOLT DIAMETERS FROM EACH END OF EACH SECTION. [R403.1.6]
4. BOLTS MUST BE LOCATED IN THE MIDDLE THIRD OF THE SILL PLATE WIDTH [R403.1.6]
5. FASTENERS FOR PRESSURE-PRESERVATIVE TREATED AND FIRE RETARDANT TREATED WOOD SHALL BE HOT-DIPPED ZINC COATED GALVANIZED, STAINLESS STEEL OR COPPER. [R317.3]
6. A 6-MIL POLYETHYLENE OR APPROVED VAPOR RETARDER JOINTS LAPPED 12" MIN REQUIRED UNDER THE FLOOR SLAB. [R506.2.3]
7. INSULATION EXPOSED TO THE EXTERIOR SHALL BE PROTECTED FROM PHYSICAL AND SOLAR DAMAGE. [N1104.2.3]
8. PROVIDE (1) 8" X 16" SCREENED FOUNDATION VENT WITHIN 3 FEET OF EACH CORNER FOR UNDER FLOOR VENTILATION. [R408.1]
9. PROVIDE POSITIVE CONNECTION BETWEEN POSTS AND BEAMS TO PREVENT LATERAL DISPLACEMENT IN ACCORDANCE WITH FIGURE R502.9
10. CRAWL SPACE ACCESS REQUIRED PER R408.4
11. ALL EXTERIOR FOOTINGS SHALL EXTEND 18" BELOW THE GRADE PLANE PER R403.1.4 AND TABLE R301.2(1)



Left Elevation

Scale: 1/2" = 1Ft

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### Left Wall

## Right Wall


## Rear Wall


## Section "B"


### Section "A":

## Front Wall

## WALL LEGEND

 2x6 WALL

 2x4 WALL

 2x4 PONY WALL

Scale:  $\frac{3}{8}" = 1\text{FT}$

### Section View "A"

### Section View "B"

Scale: 1/2" = 1FT

## FOUNDATION PLAN NOTES

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4. HOLE IN PLATE WASHER MAY BE DIAGONALLY SLOTTED WITH MAXIMUM <sup>3/8</sup> LARGER WIDTH THAN BOLT DIAMETER AND MAXIMUM 1-3/4" SLOT LENGTH [R602.11.1]
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12. CRAWL SPACE ACCESS REQUIRED PER R408.4
13. ALL EXTERIOR FOOTINGS SHALL EXTEND 18" BELOW GRADE PLANE LINE PER R403.1.4 AND TABLE R301.2(1)

2" x 10" Floor Joist(s)  
24" O.C.

1/2" Anchor bolts 6" maximum centers.  
12" max from end of wall.  
7" Minimum into concrete.

Mudsill  
2 x 6 P.T.

#4 Horizontal top 12"

#4 Rebar upright 48" maximum spacing.  
(Not required with monolithic pours)

12.000

DETAIL 1  
(NTS)

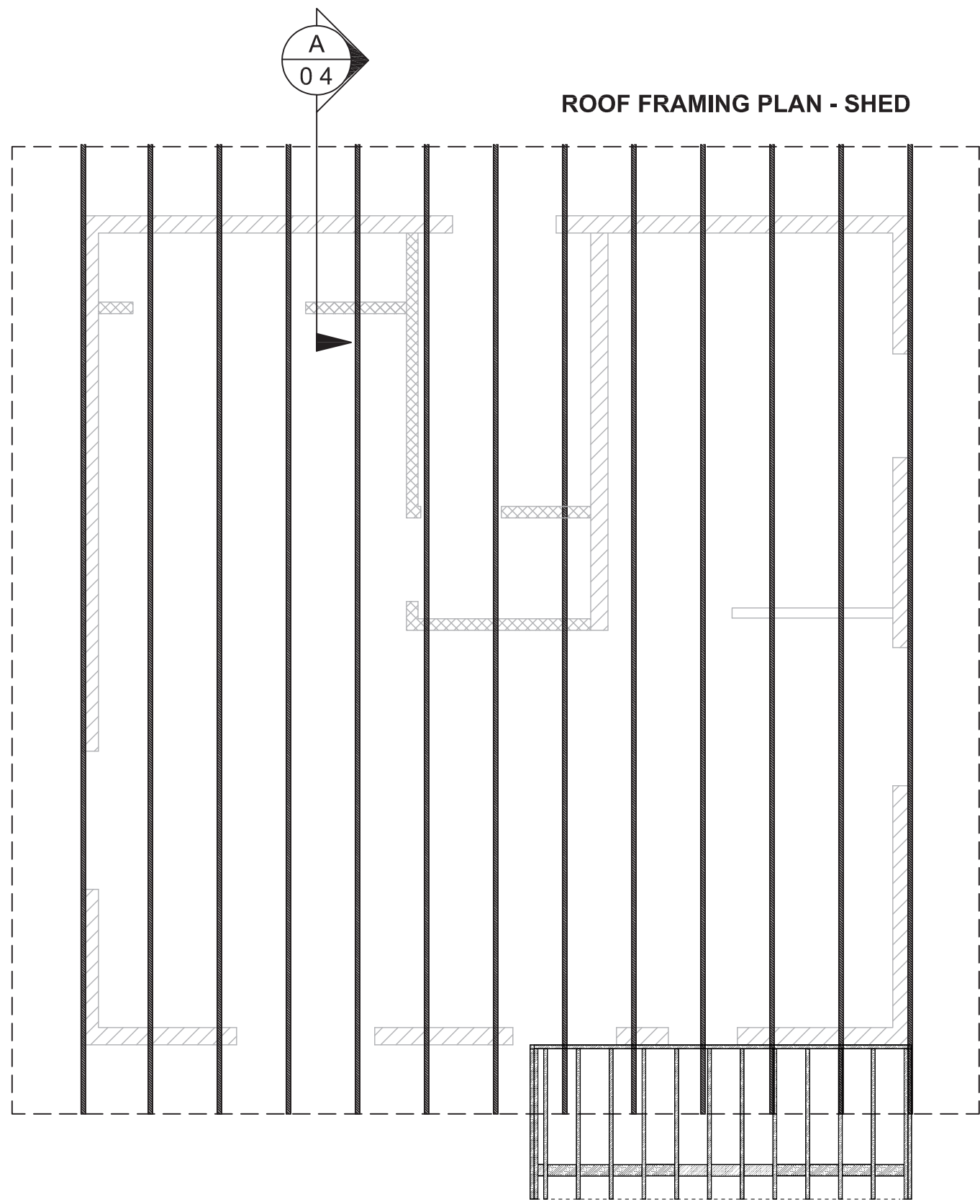
Diagram illustrating the installation of a  $\frac{3}{4}$ " Wood Structural Panel floor sheathing. The panel is shown being attached to 2"x10" Floor Joists. The installation details include:

- $\frac{3}{4}$ " Wood Structural Panel floor sheathing, long dimension perpendicular to joists.
- 8d nails 6" o.c. edges
- 12" o.c. field
- Construction Adhesive
- 2"x10" Floor Joist

## SUB-FLOOR INSTALLATION

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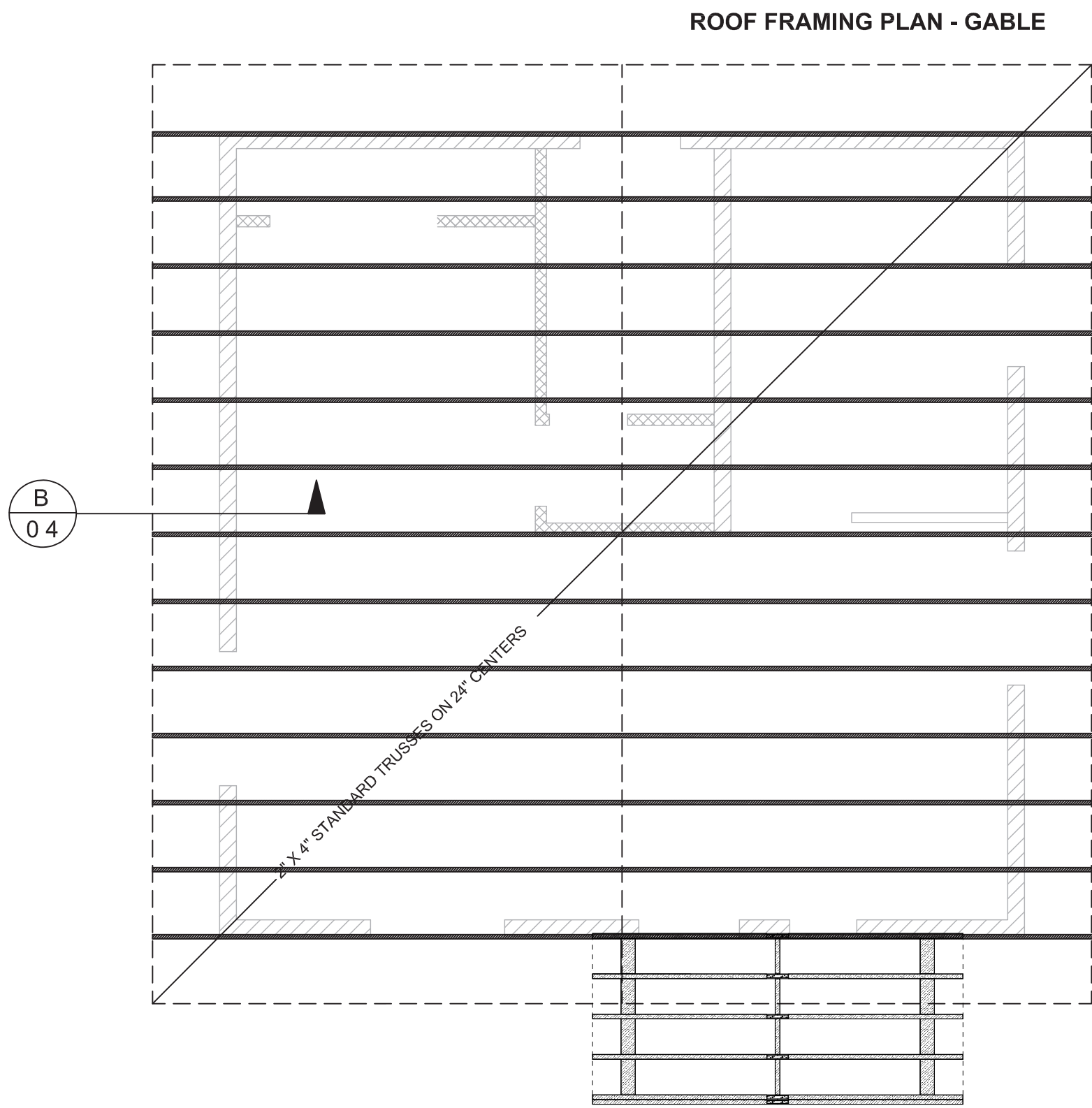




Porch Framing: 2x4 roof rafters @ 16" on center resting on 6"x6" beam  
11 7/8" TJI's @ 16" o.c. w/ R-38 high-density fiberglass batt insul (10.25" thick)

All exterior wall headers shall be (2) 2"x6" or 4"x6" nominal No. 2 grade or better  
lumber (Douglas fir-larch, hem-fir, Southern pine, and spruce-pine-fir)

ROOF PLAN / TRUSS LAYOUT  $\frac{1}{4}" = 1'0"$



Porch Framing: 2x4 roof rafters @ 16" on center with 2x6 ridge board  
1'-1/4" x 20 gage ridge strap at each rafter across ridge  
6"x6" beams supporting rafters, see roof options page 8 and detail

All exterior wall headers shall be (2) 2"x6" or 4"x6" nominal No. 2 grade or better  
lumber (Douglas fir-larch, hem-fir, Southern pine, and spruce-pine-fir)

ATTIC VENTILATION REQUIRED

NET FREE CROSS VENTILATION AREA =  $\frac{1}{300}$   
VENT AREA REQ'D =  $600 \text{ ft}^2 / 300 = 2 \text{ ft}^2 \times 144 = 288 \text{ in}^2$

GABLE END VENTS

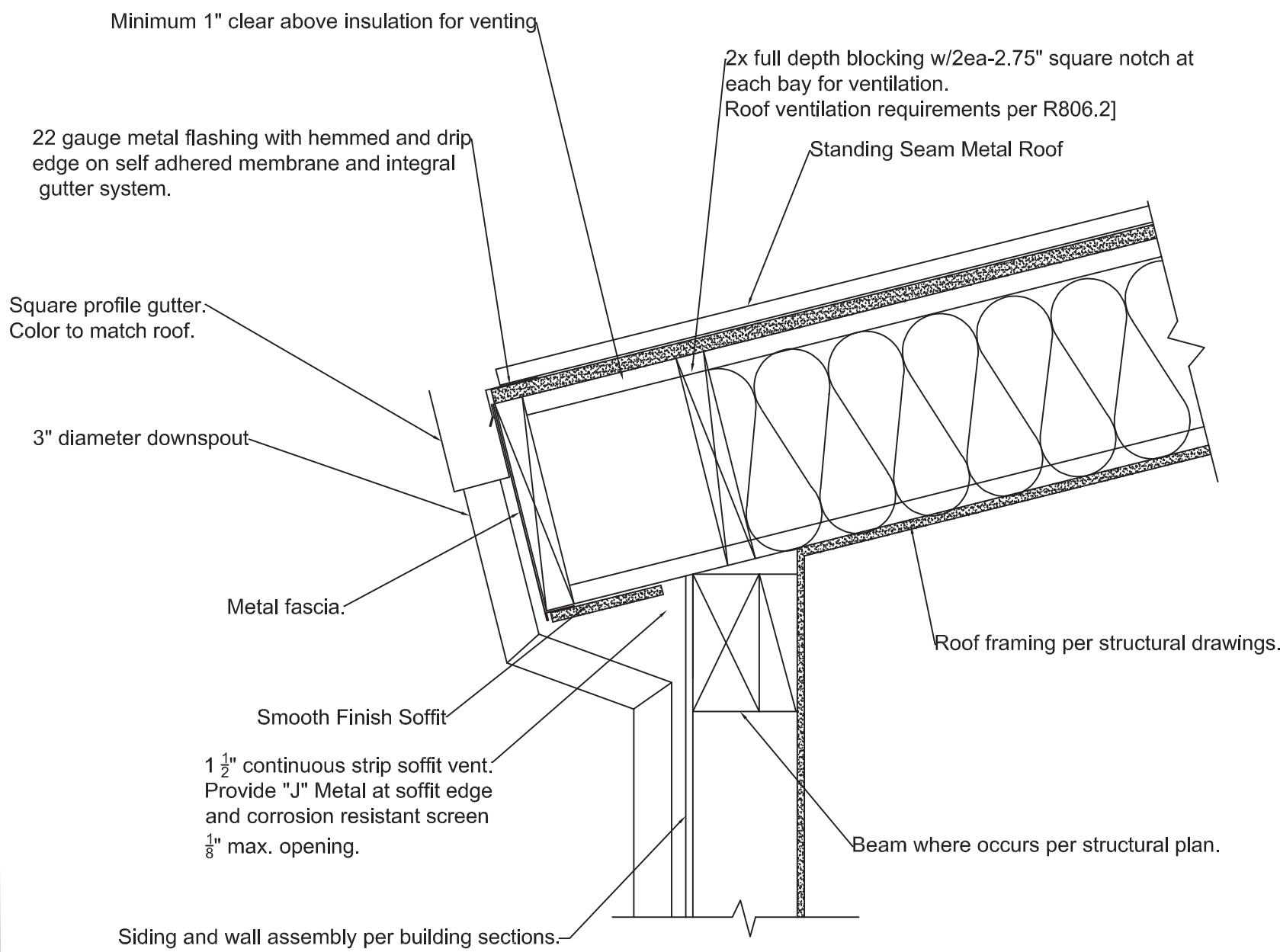
NFVA =  $71 \text{ in}^2$   
QTY = 2 VENTS  
VENT AREA PROVIDED =  $2 \times 71 \text{ in}^2 = 142 \text{ in}^2$

EAVE VENTS

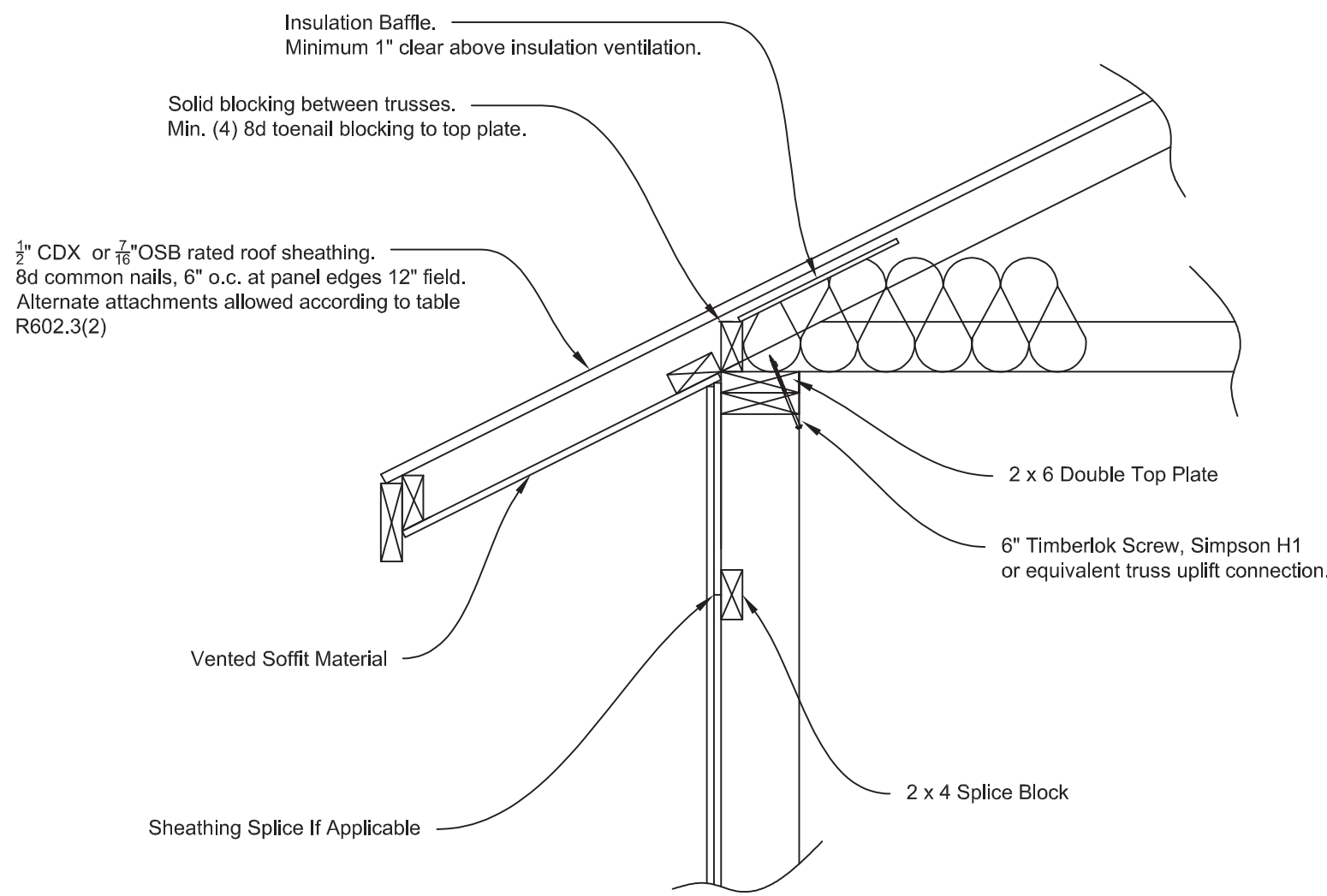
NFVA:  $23 \text{ in}^2$   
QTY = 8 VENTS  
VENT AREA PROVIDED =  $8 \times 23 \text{ in}^2 = 184 \text{ in}^2$

TOTAL VENT AREA PROVIDED

$(142 \text{ in}^2) + (184 \text{ in}^2) = 326 \text{ in}^2 > 288 \text{ in}^2$



Detail A/04



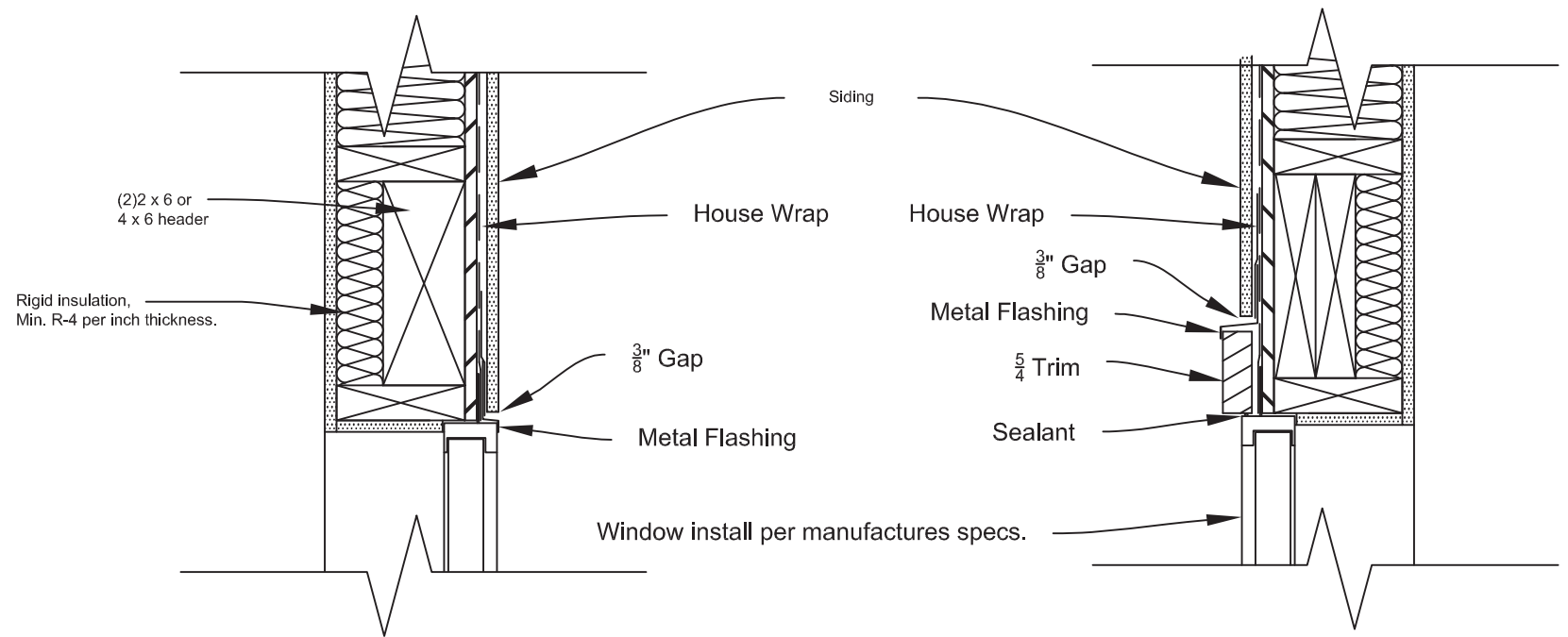
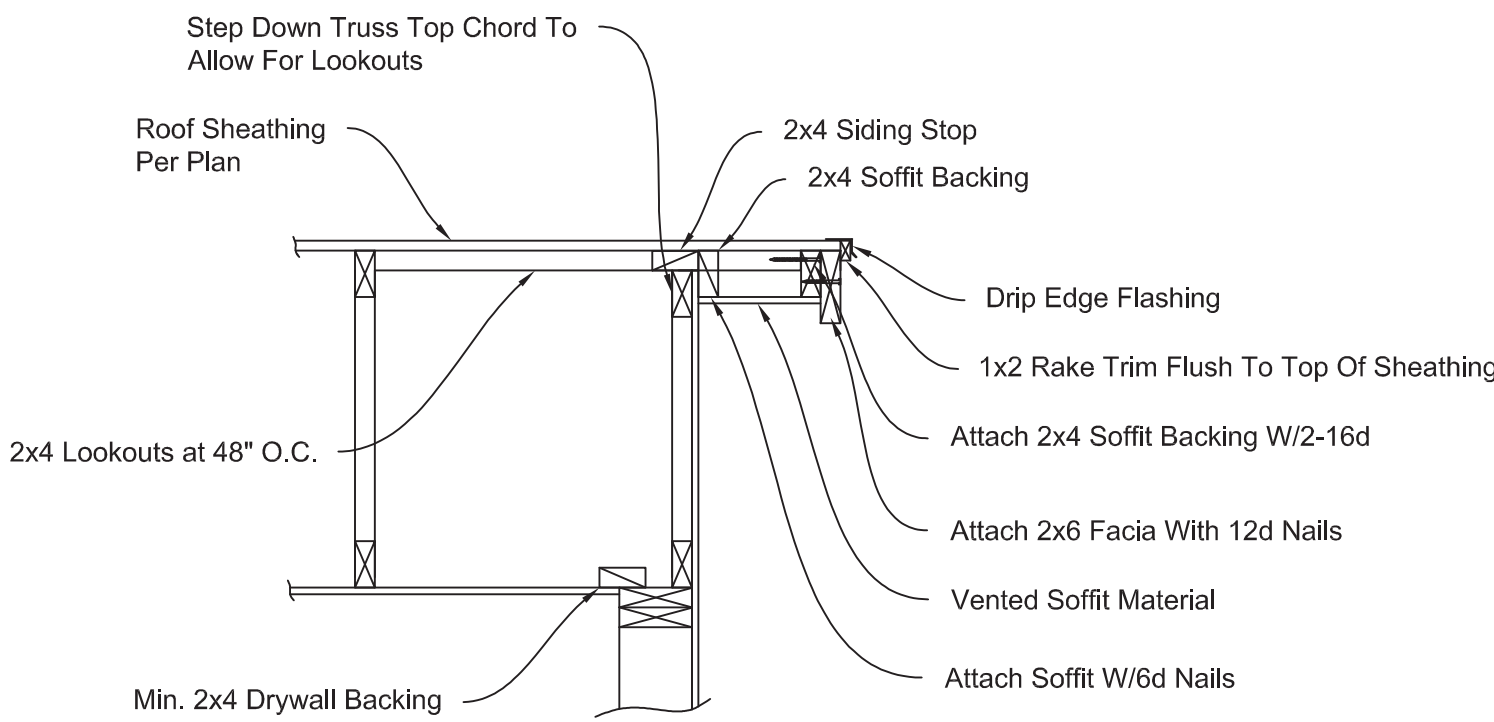
Truss Bearing on 2x6 Exterior Wall  
With Vented Soffits

Detail B/04

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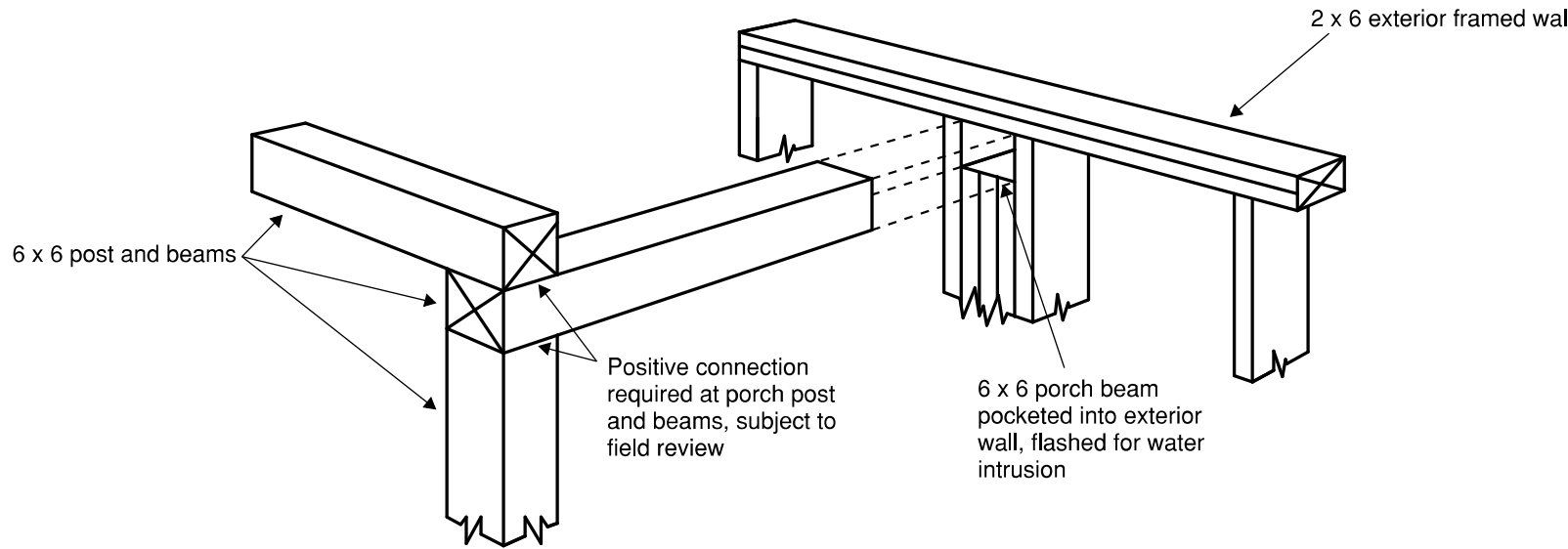
TRUSS FRAMING NOTES

1. TRUSS DESIGN DRAWING SHALL BE ON THE JOB SITE AND AVAILABLE TO THE BUILDING INSPECTOR AT THE FRAMING INSPECTION [R802.10.1]
2. TRUSSES SHALL BE BRACED IN ACCORDANCE WITH THE TRUSS DESIGN DRAWINGS [R802.10.3]
3. TRUSSES SHALL BE ATTACHED TO SUPPORTING WALLS BY CONNECTIONS CAPABLE OF RESISTING UPLIFT FORCES AS SPECIFIED ON THE TRUSS DESIGN DRAWINGS [R802.11.1.1]
4. A 22" X 30" MINIMUM ATTIC ACCESS OPENING IS REQUIRED. [R807]



Window Head Flashing

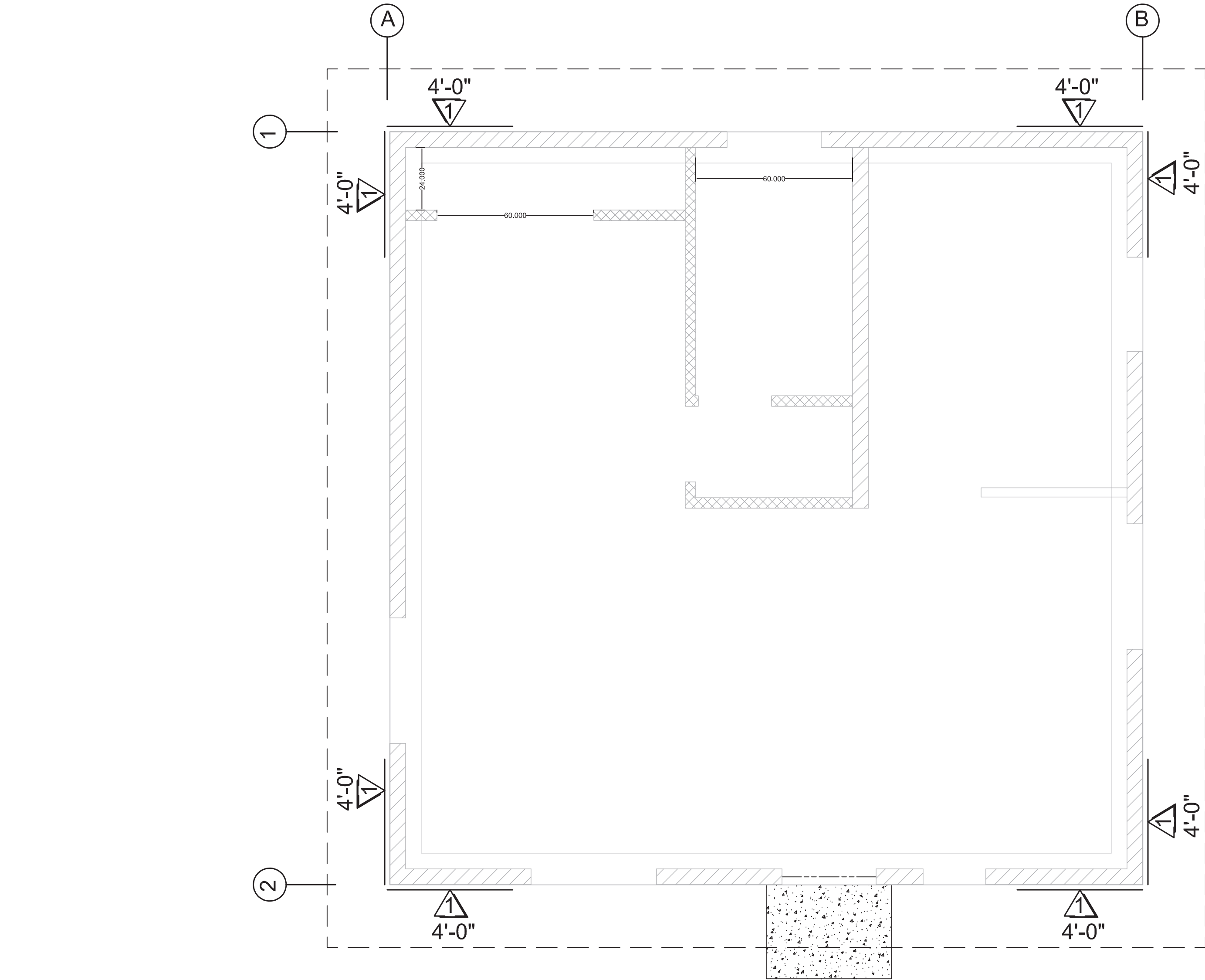
Window Head Flashing With Trim



Gable Porch Roof Pocket Framing

Detail C/04





Braced wall line #	Braced wall line spacing (feet)	Minimum length of bracing per table R602.10.3(1) (before adj. factors)	2021 ORSC bracing Method	Exposure category adj. factor	Roof eave-to-ridge height adj. factor	Story height adj. factor	Number of Braced wall lines per plan direction adj. factor	Total minimum length of bracing required per table R602.10.3(1) after adjustment factors (feet)	Total length of braced wall panels provided (feet)
1	24	3.4	CS-WSP	1.00	.70	.90	1.00	2.14	8
2	24	3.4	CS-WSP	1.00	.70	.90	1.00	2.14	8
A	24	3.4	CS-WSP	1.00	.70	.90	1.00	2.14	8
B	24	3.4	CS-WSP	1.00	.70	.90	1.00	2.14	8

WOOD STRUCTURAL PANEL SHEATHING							
MARK	MINIMUM NAIL		MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMUNAL PANEL THICKNESS (in)	MAXIMUM WALL STUD SPACING (in)	PANEL NAIL SPACING	
	SIZE	PENETRATION (in)				EDGES (inches o/c)	FIELD (inches o/c)
<div><div></div><div>1</div><div>CS-WSP</div></div>	6D COMMON	1.5	24:0	$\frac{3}{8}$ "	16	6	12
	8D COMMON	1.75	24:16	$\frac{7}{16}$ "	16	6	12

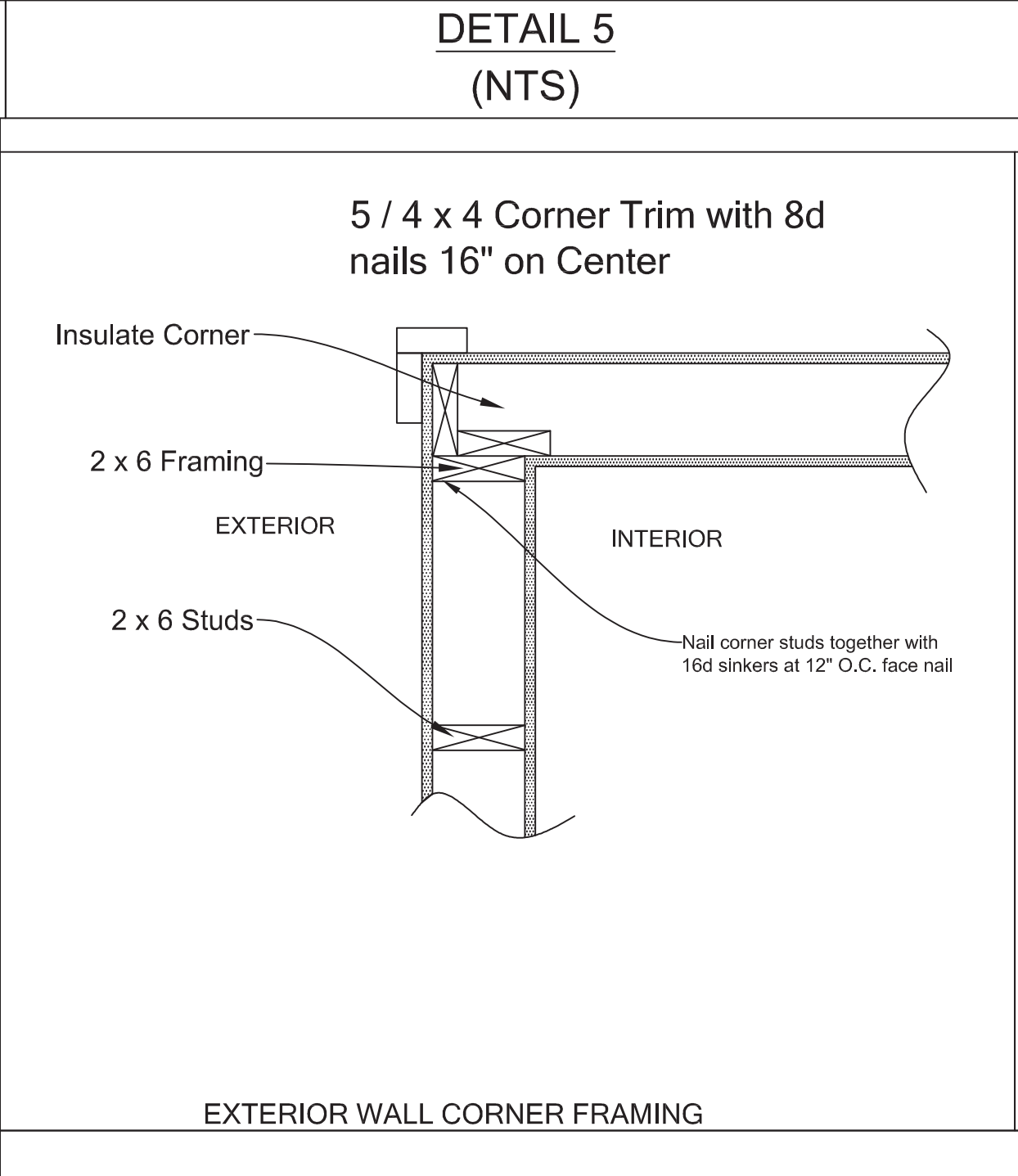
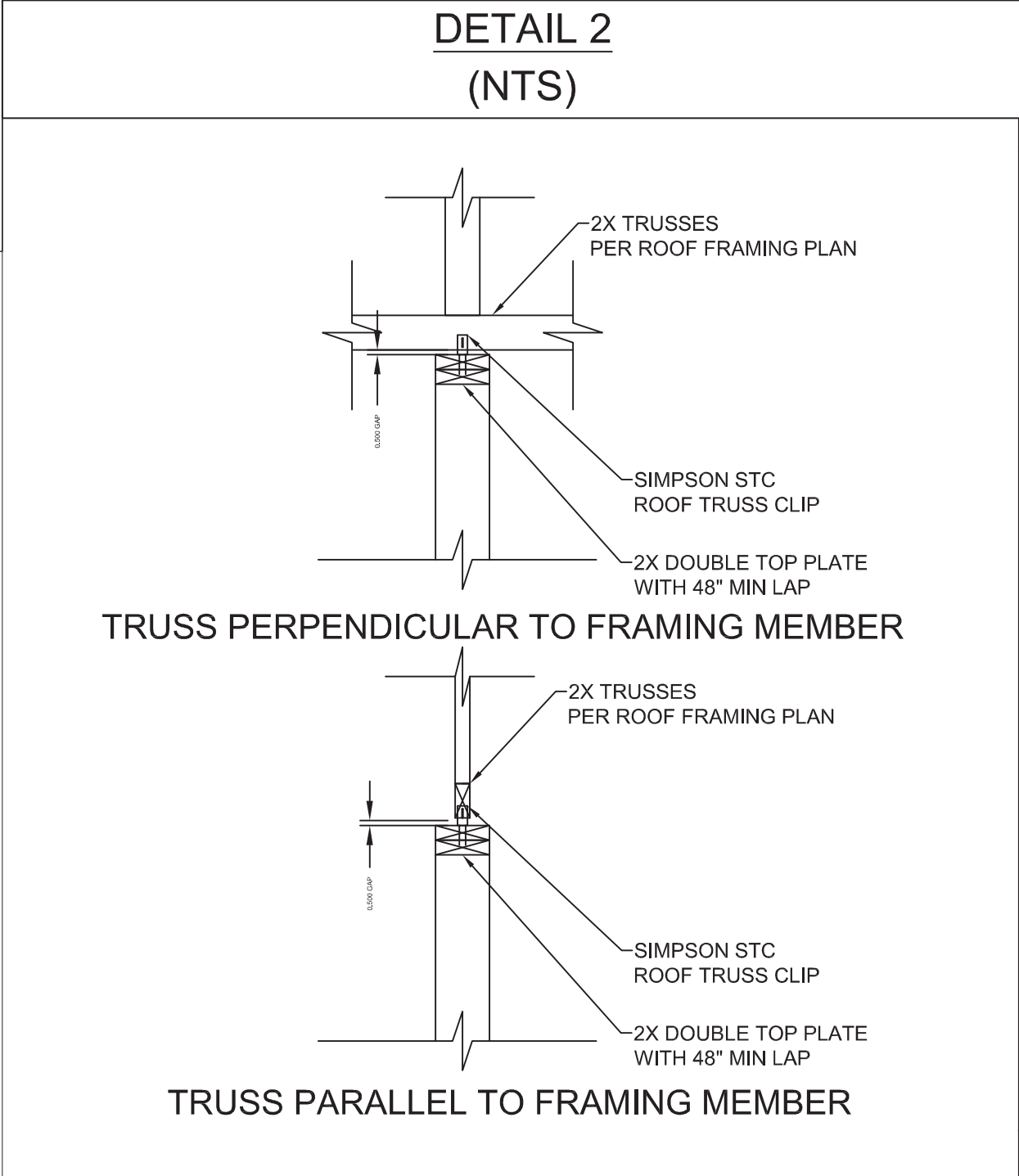
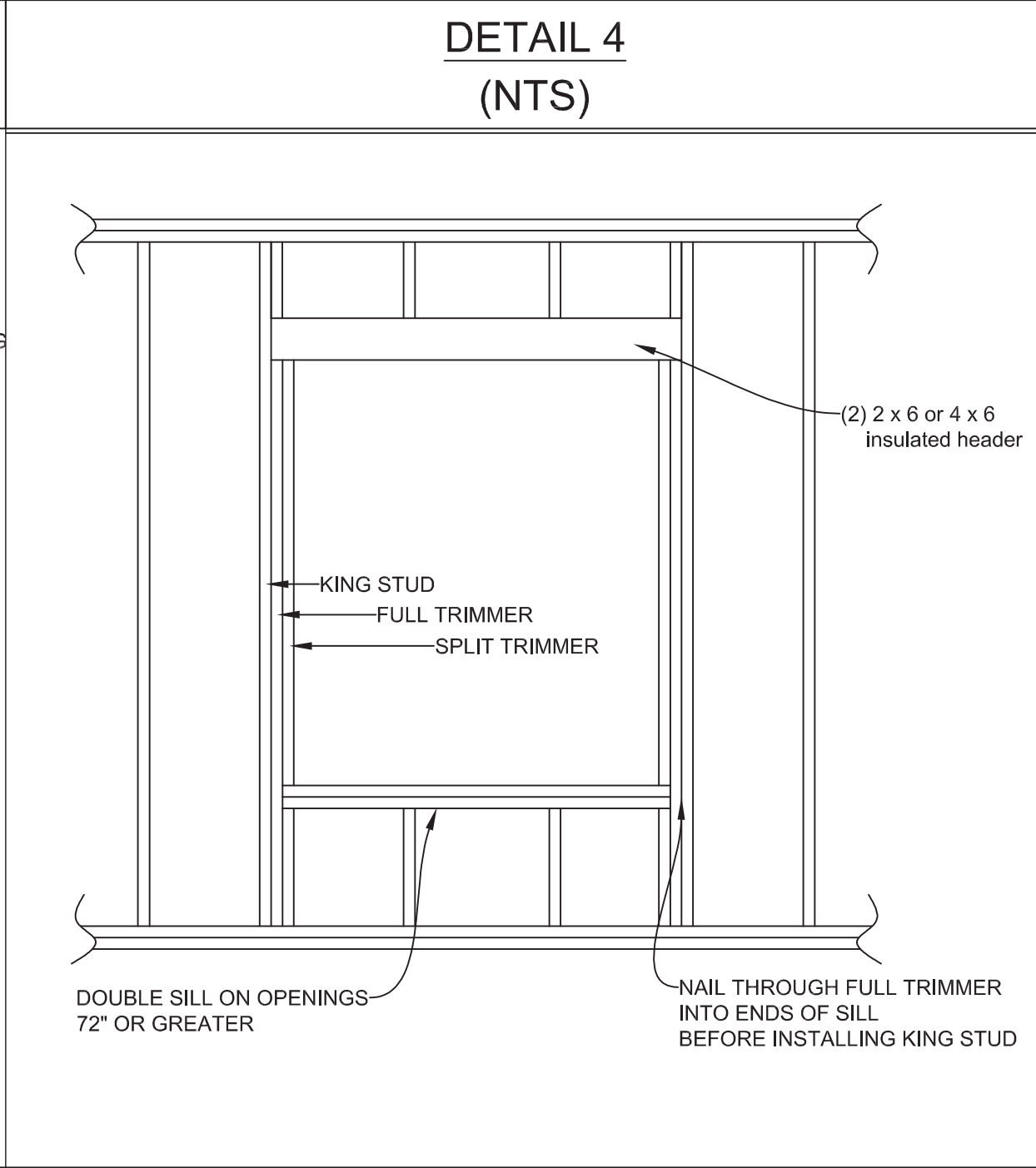
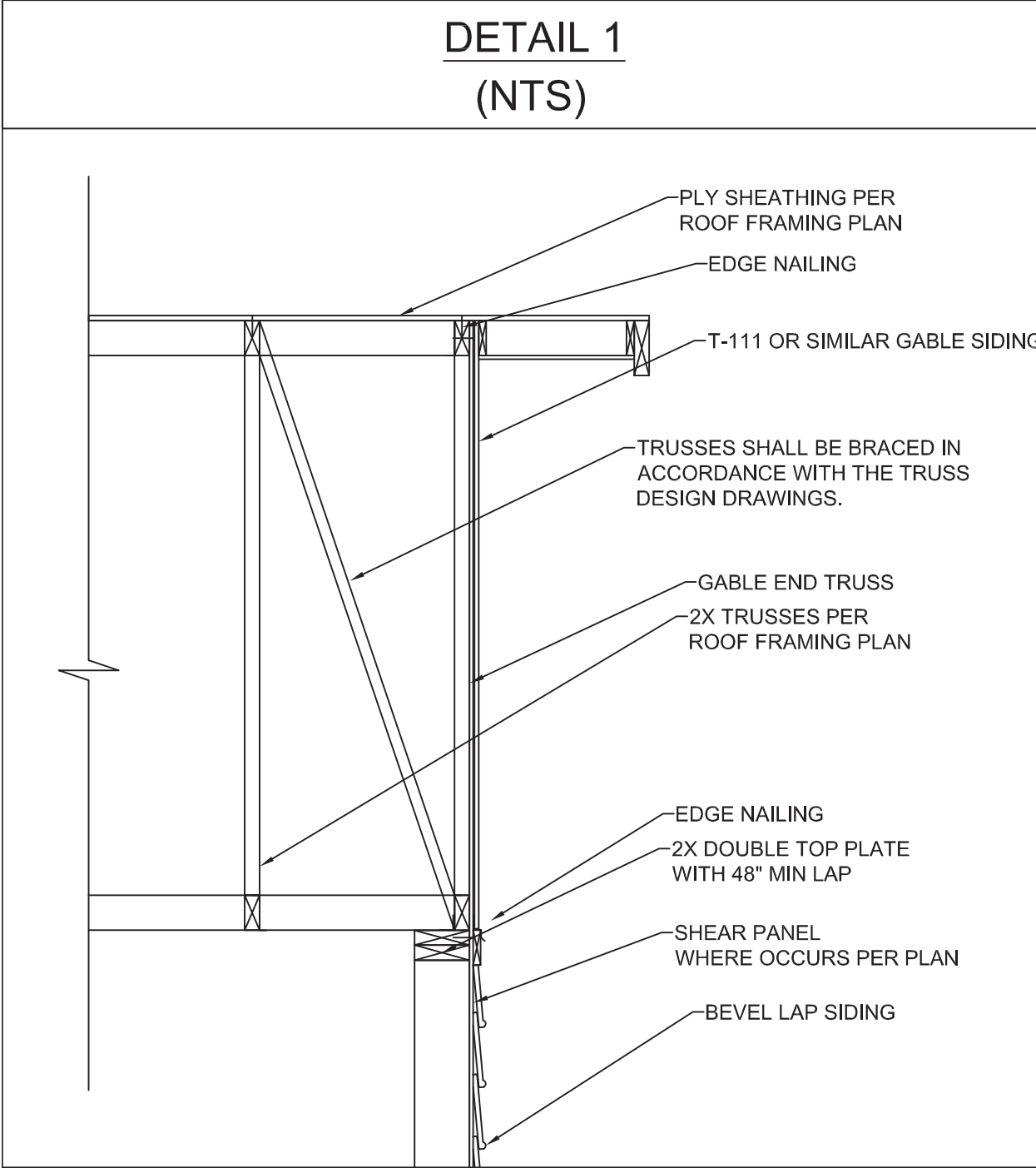
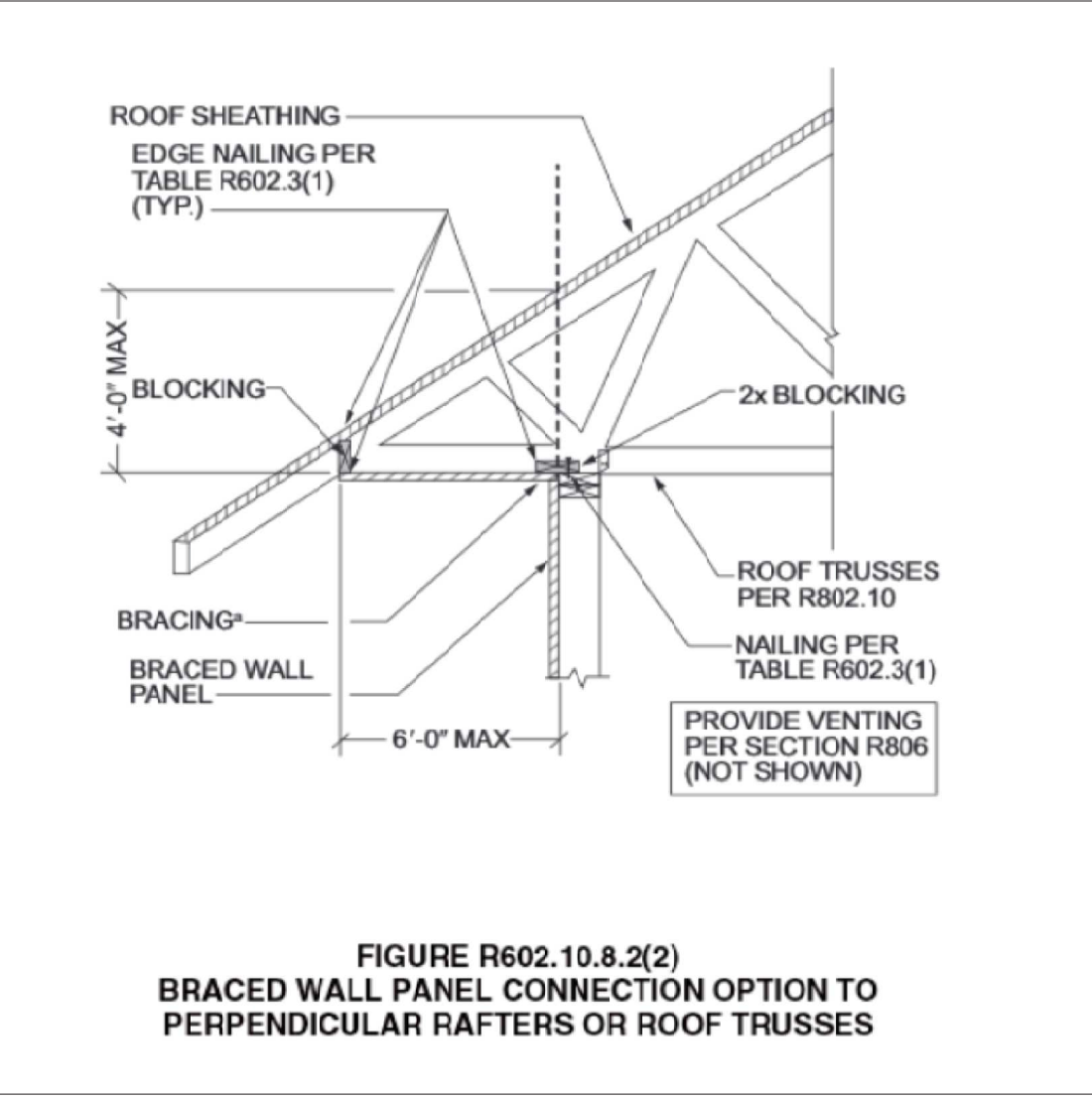
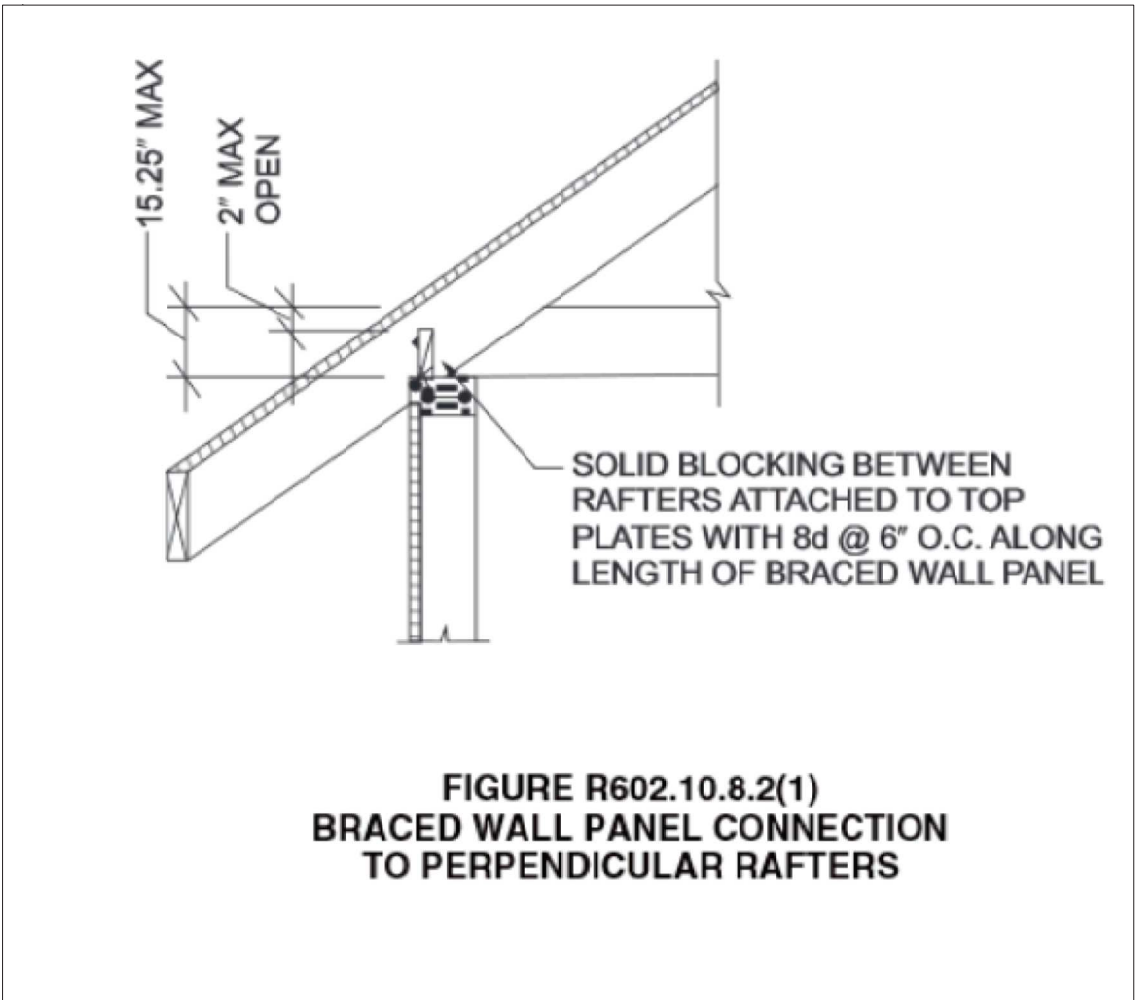
WOOD STRUCTURAL PANELS SHALL CONFORM TO DOC PS 1, DOC PS 2 OR ANSI/APA PRP 210, CSA O437 OR CSA O325. PANELS SHALL BE IDENTIFIED BY A GRADE MARK OR CERTIFICATE OF INSPECTION ISSUED BY AN APPROVED AGENCY

VERTICAL JOINTS OF PANEL SHEATHING SHALL OCCUR OVER AND BE FASTENED TO COMMON STUDS. HORIZONTAL JOINTS IN BRACED WALL PANELS SHALL OCCUR OVER AND BE FASTENED TO COMMON BLOCKING OF A MINIMUM 1 1/2 INCH THICKNESS.

NOTE: ROOF SHEATHING TO BE 1/2" APA RATED SHEATHING 24:0 AT 6" O/C EDGE NAILING AND 12" O/C FIELD NAILING

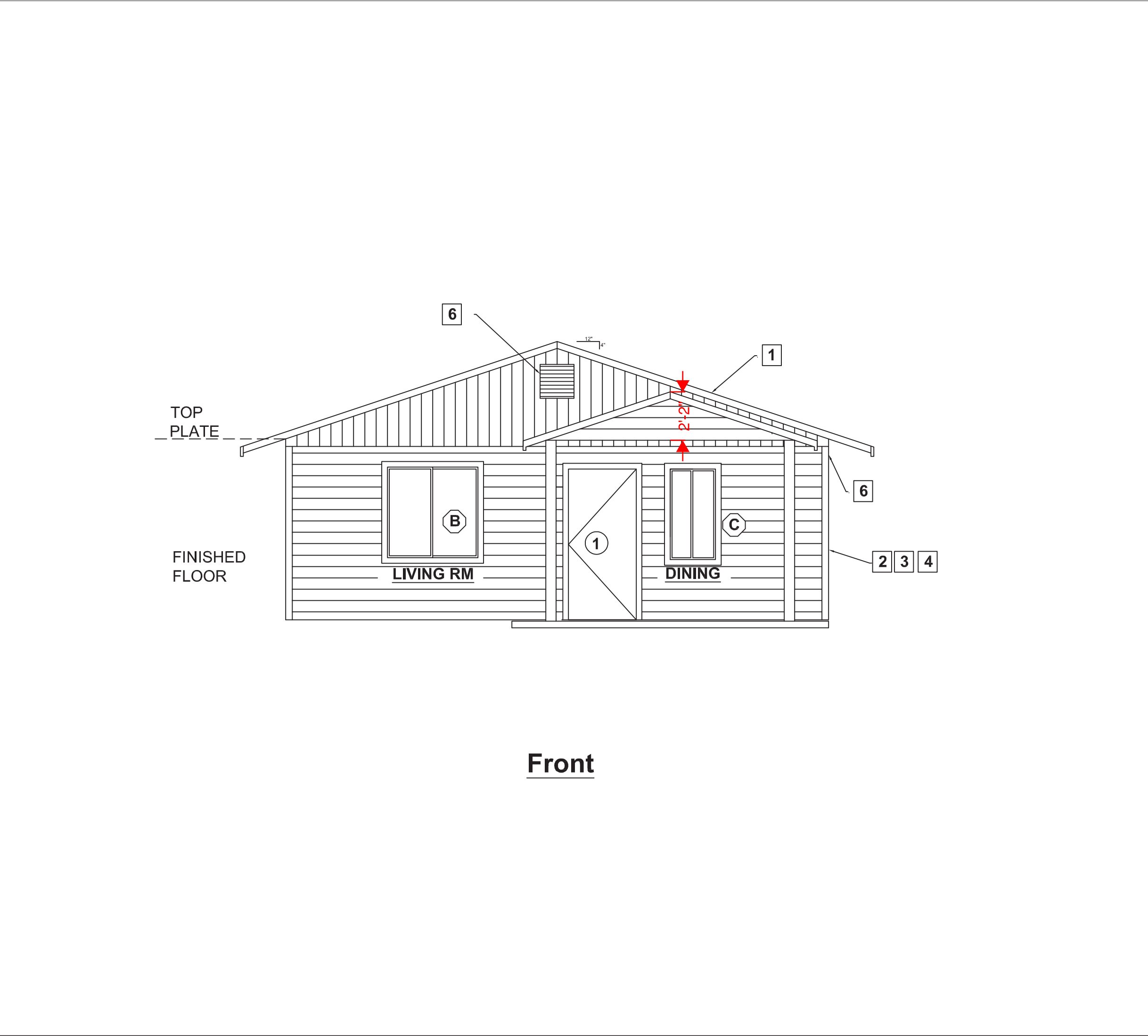
LEGEND

# BRACED WALL LINE

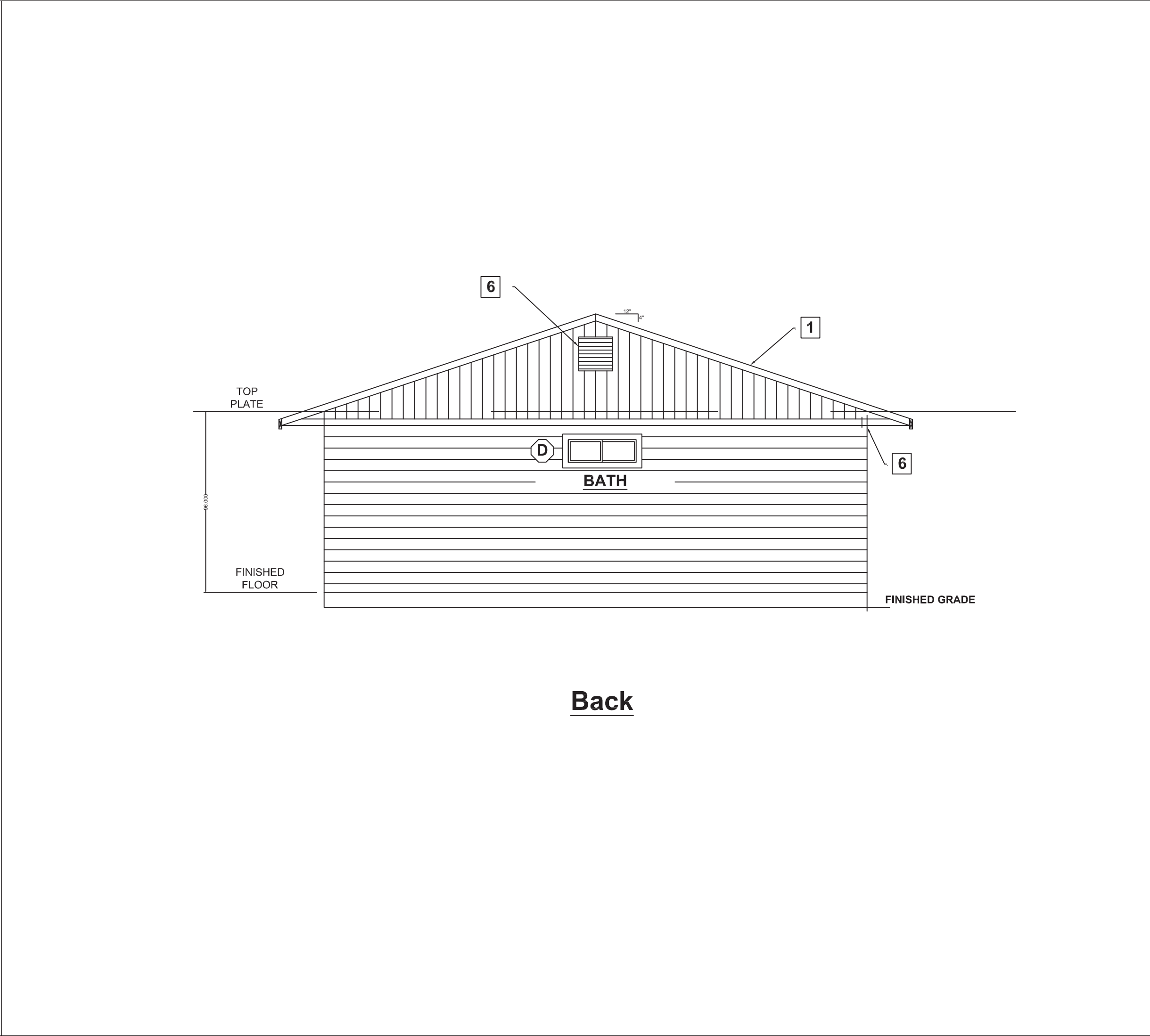


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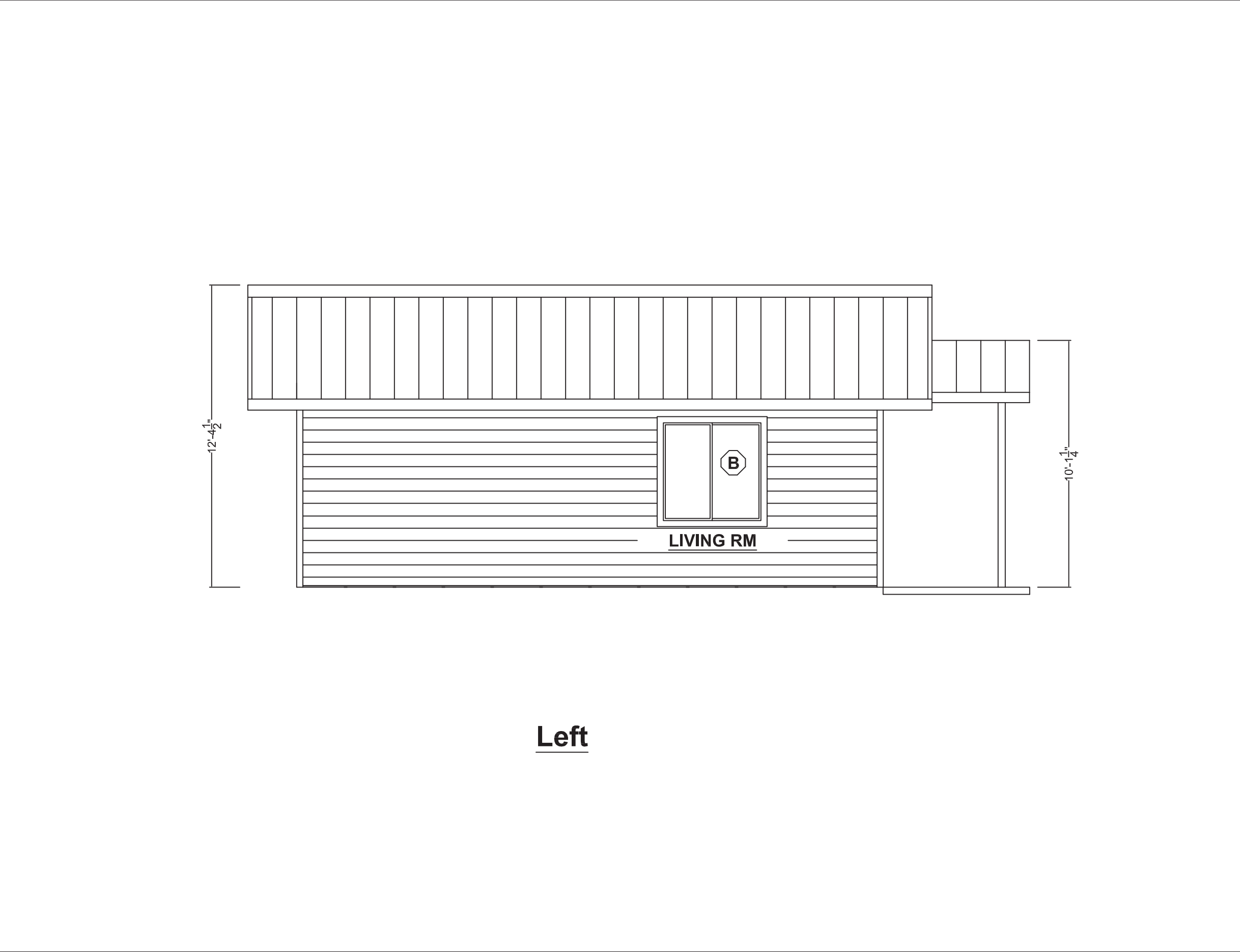




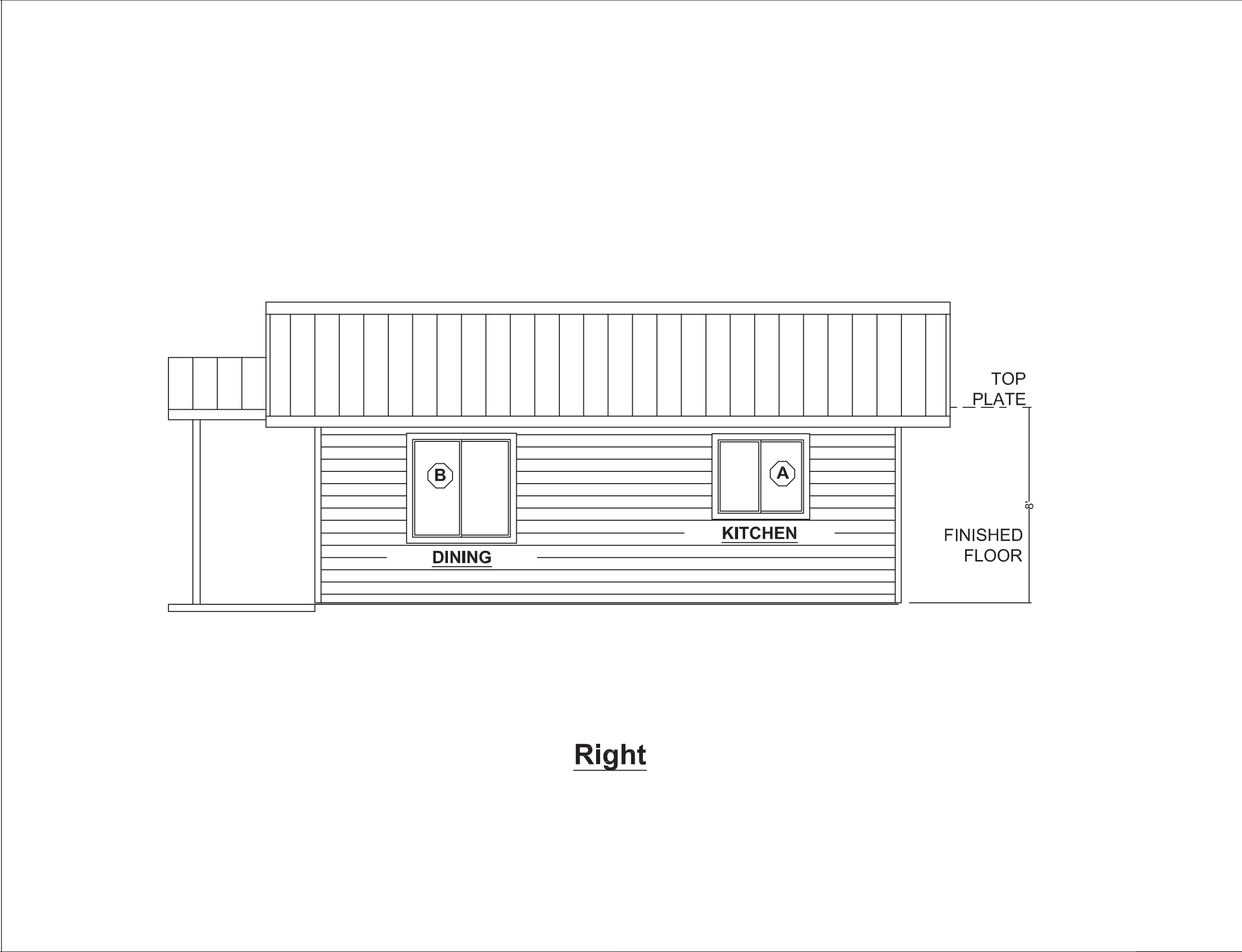
Front



Back



Left



Right

## ELEVATION KEY NOTES

1. ROOF MATERIAL: \_\_\_\_\_
2. EXTERIOR WALL COVERING \_\_\_\_\_
3. A WATER RESISTIVE BARRIER THAT MEETS THE 75% DRAINAGE EFFICIENCY REQUIREMENTS OF ASTM E2273 OR OTHER MEANS OF DRAINAGE COMPLYING WITH R703.1.1 SHALL BE PROVIDED BEHIND THE EXTERIOR SIDING, CLADDING OR VENEER.
4. EXTERIOR WALL COVERINGS SHALL BE SECURELY FASTENED WITH ALUMINUM, GALVANIZED, STAINLESS STEEL OR RUST PREVENTATIVE COATED NAILS OR STAPLES IN ACCORDANCE WITH TABLE R703.3(1) OR WITH OTHER APPROVED CORROSION-RESISTANT FASTENERS IN ACCORDANCE WITH THE WALL COVERING MANUFACTURER'S INSTALLATION INSTRUCTIONS. [R703.3.2]
5. CORROSION-RESISTANT FLASHING SHALL BE INSTALLED AT WINDOW AND DOOR OPENINGS AND ABOVE ALL PROJECTING WOOD TRIM. FLASHING SHALL BE APPLIED SHINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. [R703.4]
6. ENCLOSED ATTICS AND RAFTER SPACES SHALL BE PROVIDED WITH CROSS VENTILATION. NET VENTILATING AREA SHALL BE NOT LESS THAN 1/150TH OF THE AREA OF THE SPACE VENTILATED, WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. PROVIDE A 1" MINIMUM AIR SPACE ABOVE INSULATION AND BAFFLE AT EAVE OR SOFFITT VENTS. [R806]

## Elevation - Gable Roof

576SF ACCESSORY DWELLING UNIT

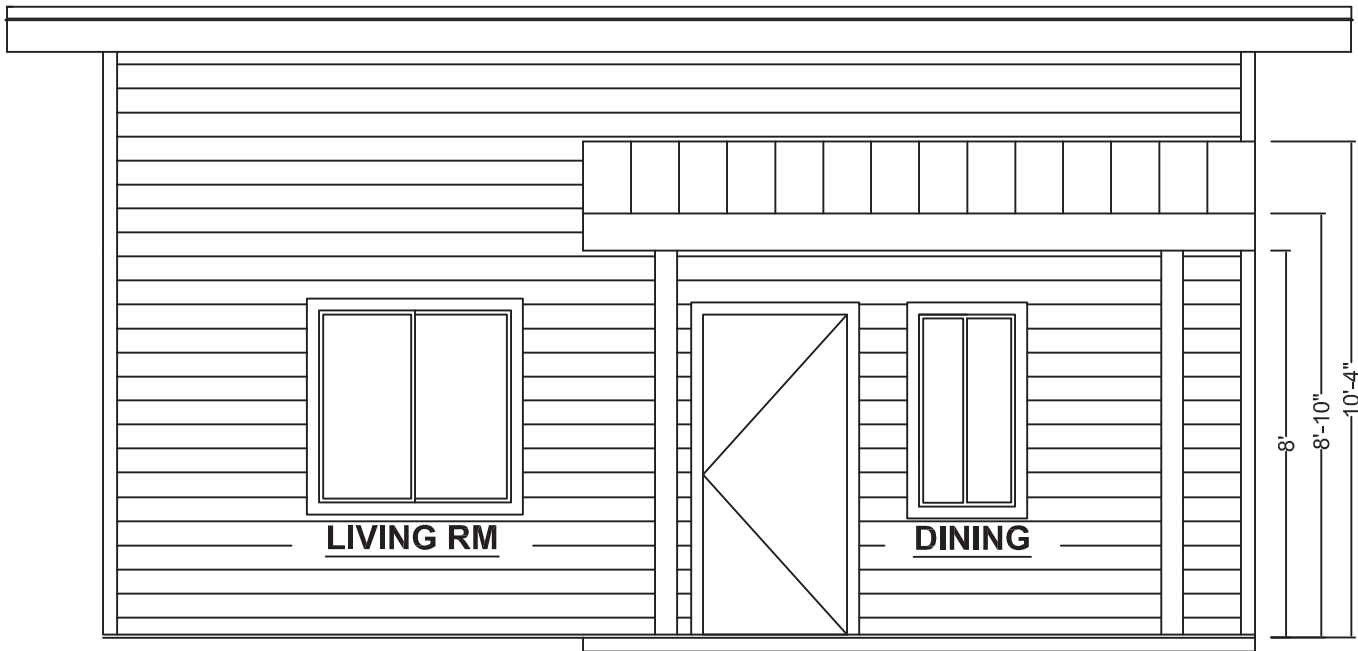
SCALE: 1/4" = 1'

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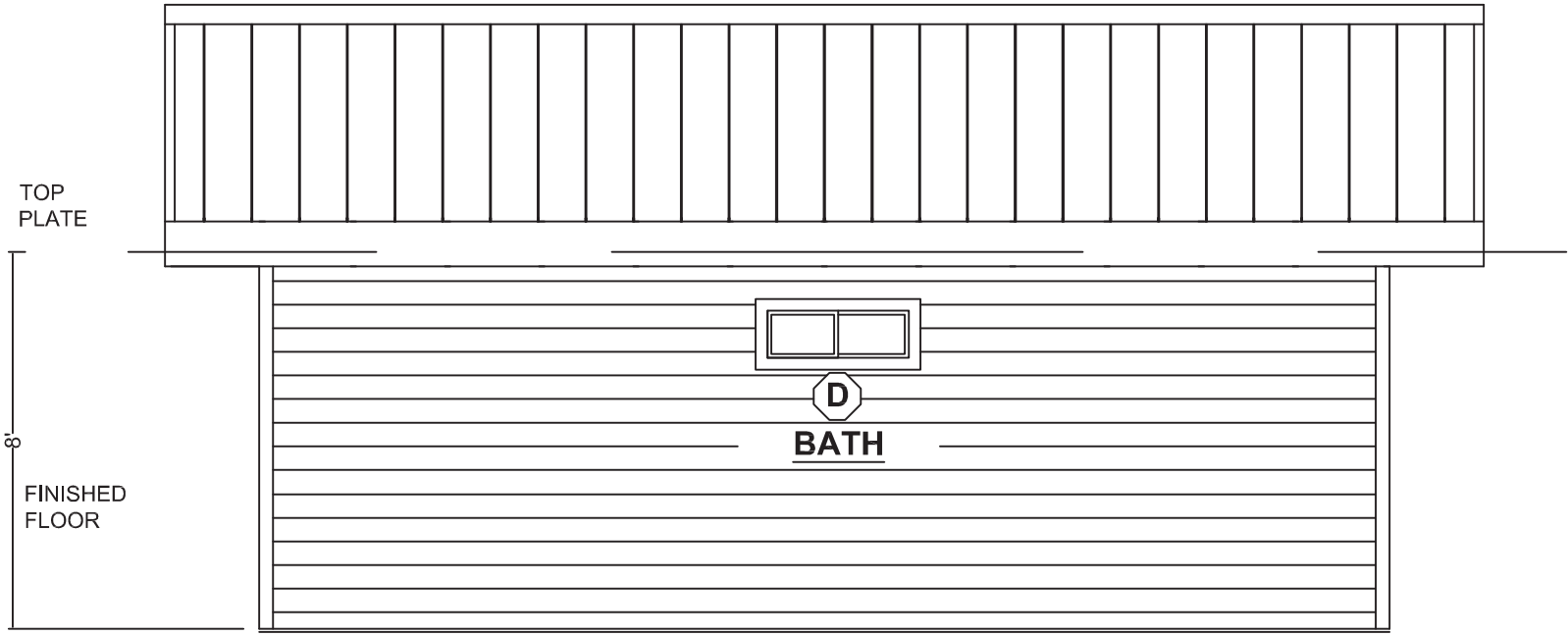
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06A

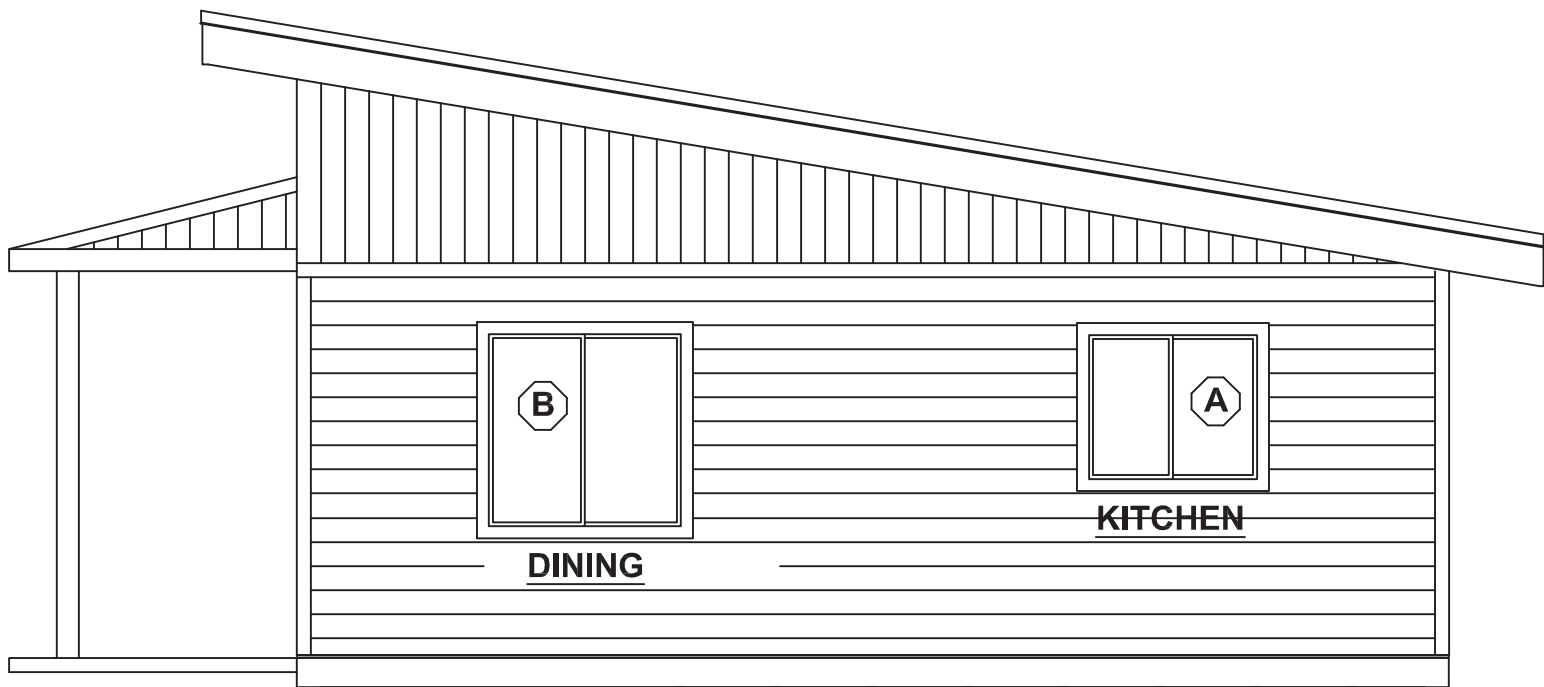




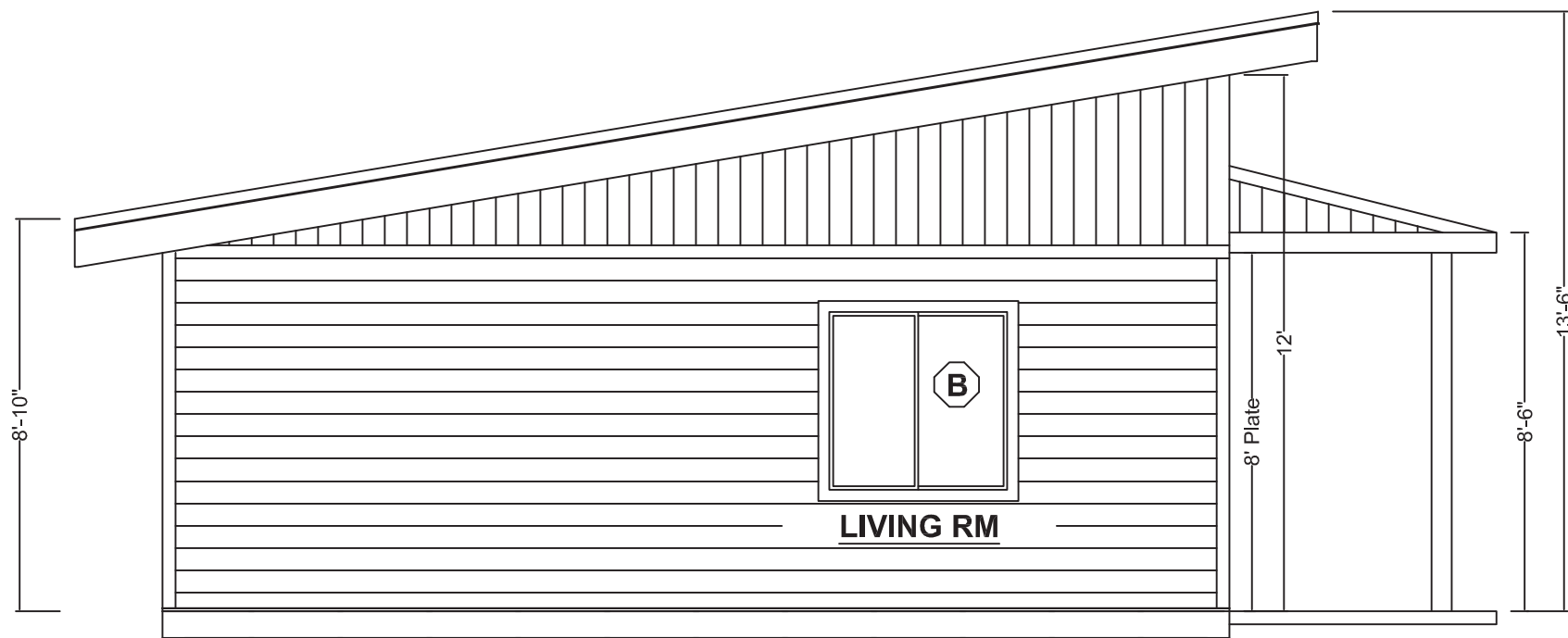
Front



Back



Right



Left

ELEVATION KEY NOTES

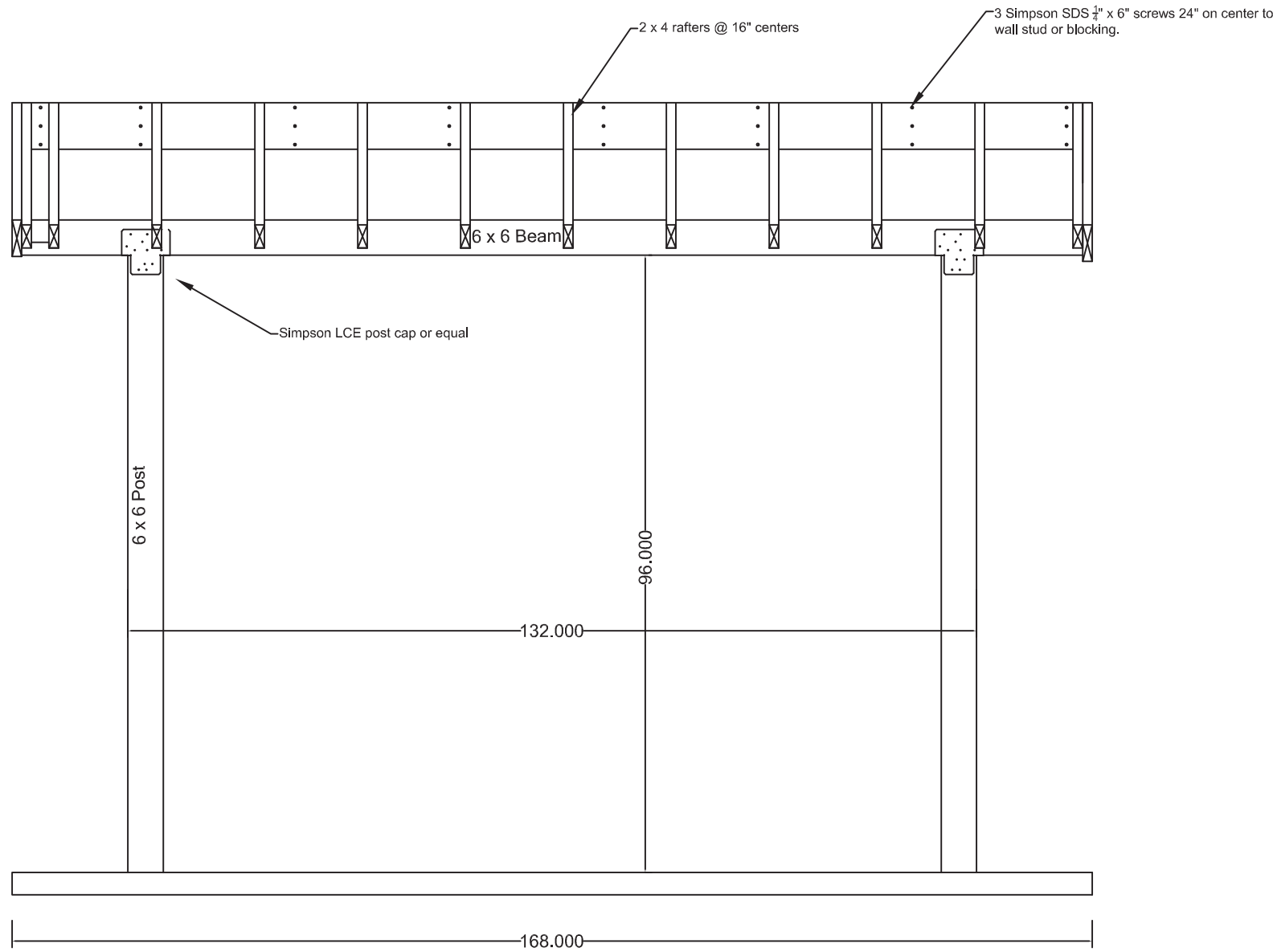
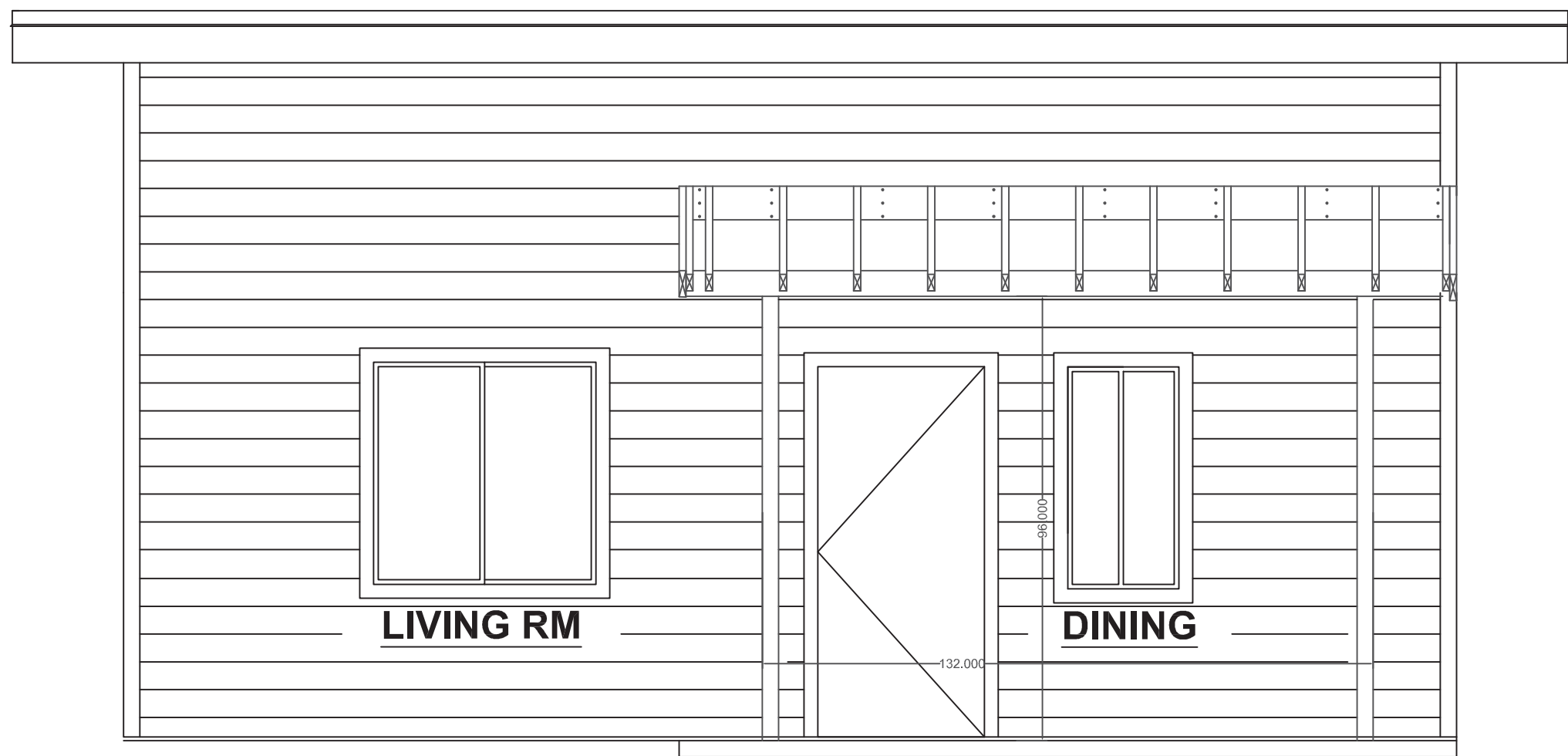
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Elevation - Shed Roof

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Sheet Number

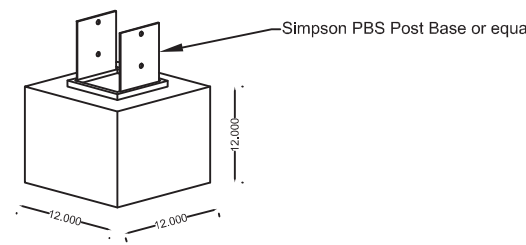
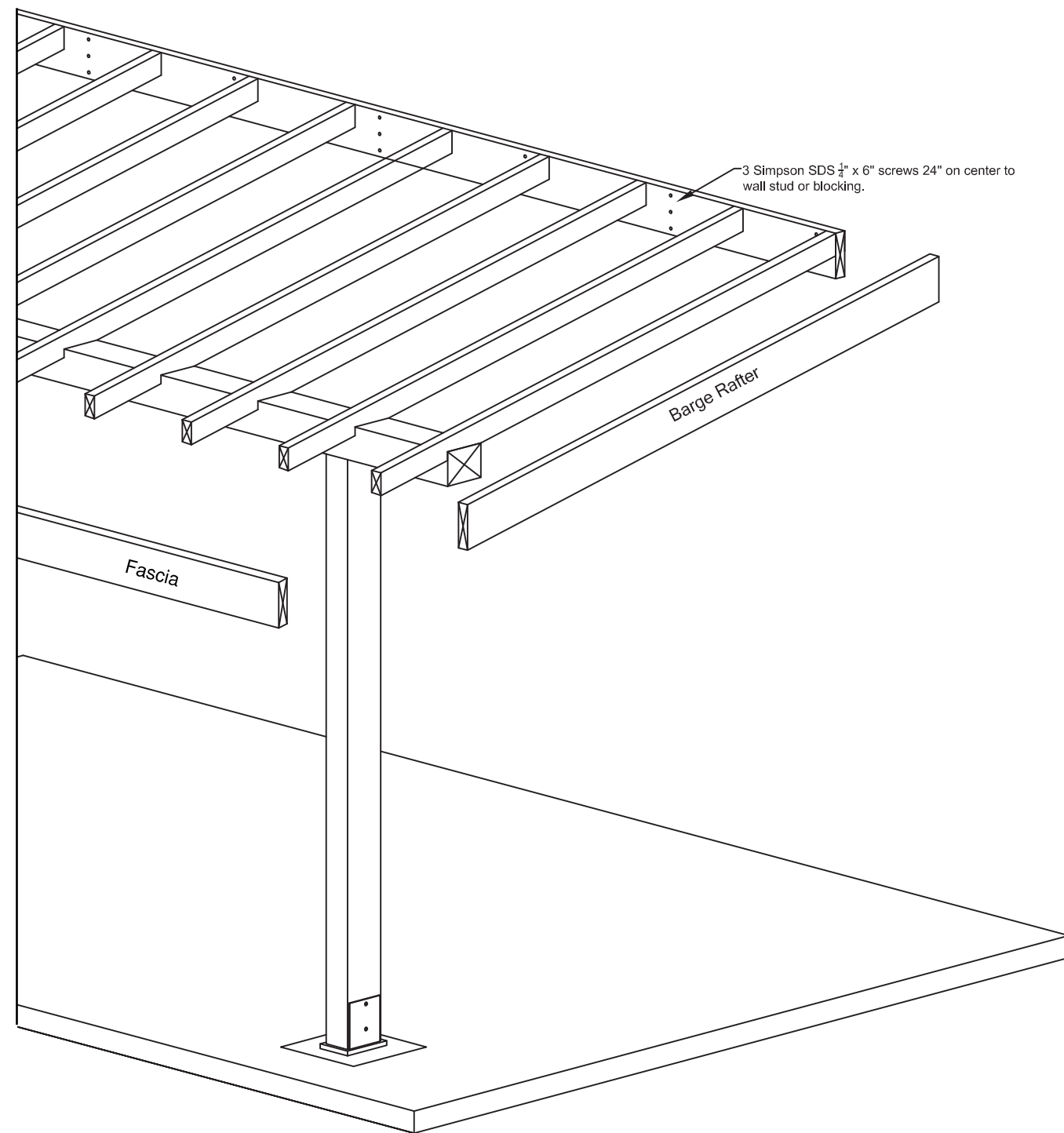
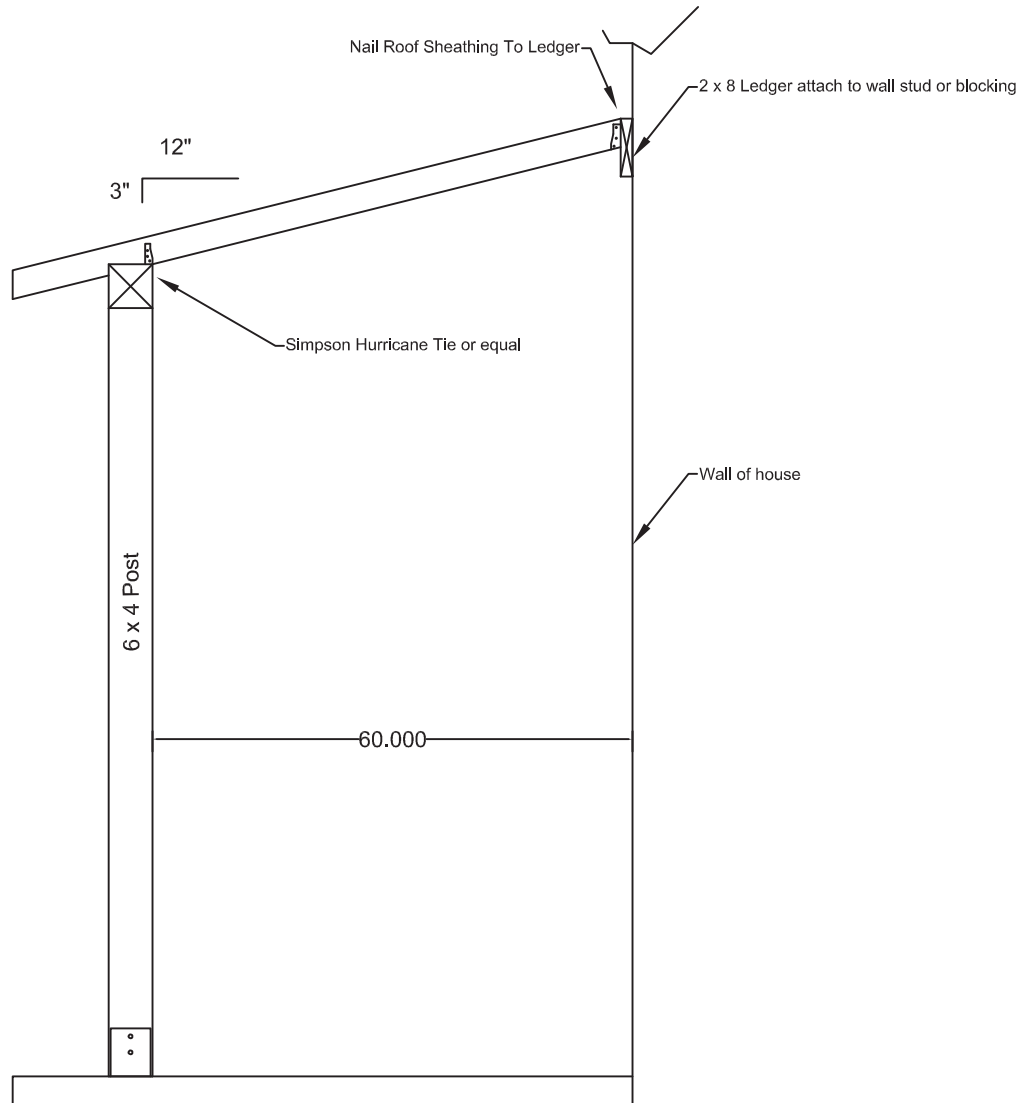
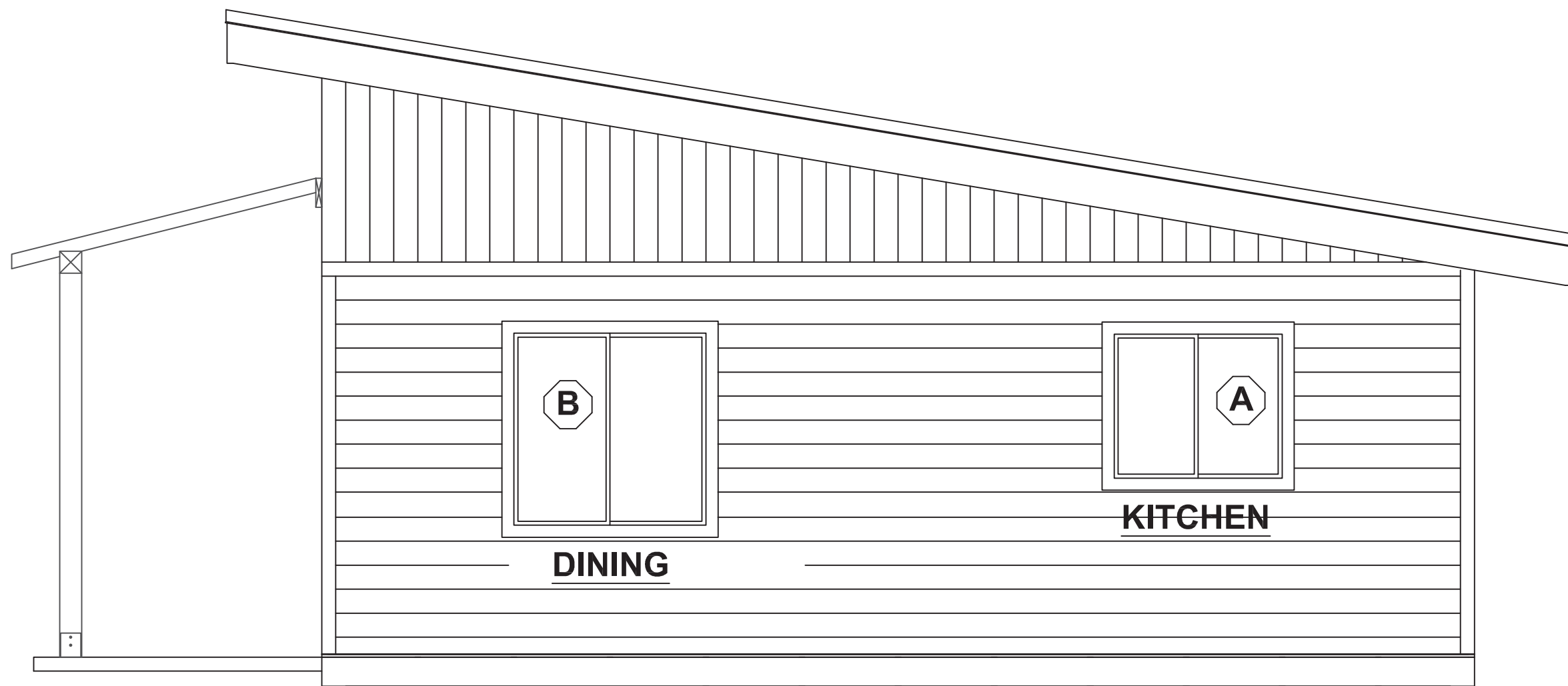




2 x 4 rafters @ 16" on center with 2 x 6 ridge board & straps per roof framing plan, page 4



Positive connection required at beams & posts, subject to field review



3/8" Scale

3/8" Scale

EXTERIOR FOOTINGS SHALL EXTEND 18" BELOW THE GRADE PLANE  
PER R403.1.4 AND TABLE R301.2(1)

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Sheet Number

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