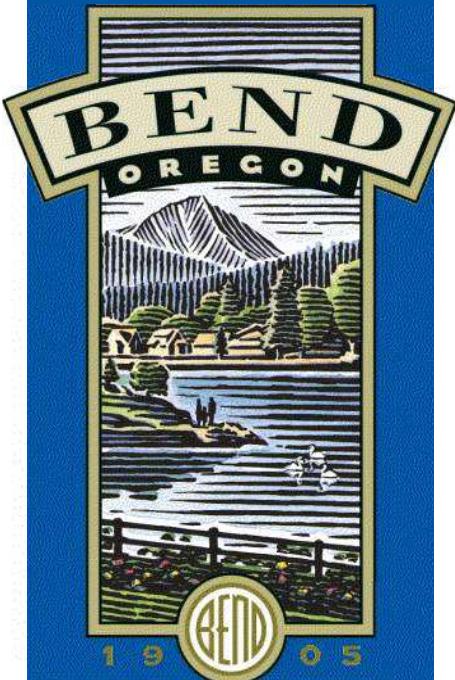


CITY OF BEND PUBLIC WORKS

Master Planning Report

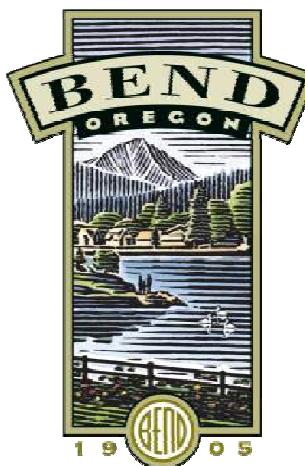
October 31st, 2018



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Section One

Project Overview and

Basis of Design

Introduction

BLRB Architects has been tasked with producing master plan options for two of the City's properties, one along Boyd Acres Road, the other in the Juniper Ridge area, based on the information gathered and plans created for the 2015 City of Bend Public Works Facility study. Below is a list of the departments being included in the new master plan.

- Right of Way (Street) Operations and Maintenance
- Facilities Division
- Fleet Maintenance
- Utilities
 - ✓ Utility Support Services
 - ✓ Environmental Services
 - ✓ Operations and Maintenance

Background

The City of Bend Public Works has realized their existing facilities and working conditions do not meet their standards. The City population is now over 90,000 and is expected to reach nearly 120,000 by 2030 and the City of Bend Public Works will require facilities which are capable of supporting their provided services.

Project Objectives

The focus of the study is to evaluate and determine if the departments listed above can be centrally located at one site to provide better facilities to increase operational efficiency and improved working environments. It is ideal to keep Right of Way, Facilities Division, and Fleet Maintenance together. Placing the Utilities department on the same site will help to reduce redundancy of program elements that would occur if the department is located on a separate site.

A secondary objective is to prepare two master plan options for the existing city-owned site along Boyd Acres Road. Both options will retain the existing buildings on the site and assume that the departments listed above will ultimately be placed on a new site located in the Juniper Ridge area.

Finally, the probable cost for moving the City of Bend Public Works departments will be provided.

Report Overview

This Programming Report consists of the following chapters:

Section One - Project Overview & Basis of Design

Describes the background and gives an overview of the project.

Describes Basis of design for both the Boyd Acres Road site and the Juniper Ridge proposed site(s).

A detailed listing of space requirements for each department included in this study is found in the 2015 City of Bend Public Works Facility study.

Section Two - Design Concepts and Opinion of Cost – Juniper Ridge

Presents site concept(s) and cost estimates for Juniper Ridge property.

Section Three - Design Concepts - Boyd Acres

Presents site concept(s) for Boyd Acres property.

Basis of Design

Juniper Ridge

The basis of design for the Juniper Ridge master plan concepts is included in the information found in Section #2 of the 2015 City of Bend Public Works Facility study. This information includes the function, staffing, parking and key planning issues for each of the departments to be located at the Juniper Ridge site. Site plan concepts from Sections #3 & #4 of the 2015 City of Bend Public Works Facility study were also utilized to inform the layouts of the new master plan concepts at Juniper Ridge.

Additionally, per a discussion with Utility Director, Paul Rheault and Street & Operations Director, David Abbas on 9/14/2018, the current Juniper Ridge site concepts show a consolidation and facilities sharing of similar program elements that were being duplicated on the Pilot Butte and Boyd Acres site concepts from 2015. This consolidation has resulted in the shared use of a single fuel island, vehicle wash facility, material bins/yard, warehouse building, shop building and administration building. The shop building and administration building shown on the current Juniper Ridge site concepts are sized to accommodate the required areas listed in the 2015 report. Further information gathering regarding the shop areas and administrative areas that can be consolidated will most likely result in a slight decrease in the overall areas of these buildings.

Boyd Acres

The basis of design for the Boyd Acres master plan concepts was given as instructions from the City of Bend. See Section #3 of this report.

Space Needs Program

The space needs program for each of the departments to be located at the Juniper Ridge site is found in Section #3 of the 2015 City of Bend Public Works Facility study. The area requirements for each space of each department is listed in that section.

Section Two

Design Concepts - Juniper Ridge

Opinion of Cost Introduction

The preliminary construction cost estimate was prepared by BLRB Architects based on similar recently constructed facilities in the area. The values were derived from current construction costs and discussions with local contractors and cost estimators. Please note that construction costs and cost escalation are uncharacteristically high in the Bend area at the time of this report's preparation.

Assumptions and Qualifications

The estimate has been prepared using accepted practices and it represents the Design Team's opinion of probable construction costs. It is intended to be a determination of fair market value for the project construction. It is not a prediction of low bid. Since the Design Team has no control over market conditions (such as surges in steel and cement prices) and other factors which may affect the bid prices, the Team cannot and does not warrant nor guarantee that bids or ultimate construction costs will not vary from the cost estimate.

Essential off-site services such as electrical, telephone, water, natural gas, storm drainage, and sanitary sewer systems have not been verified and associated off site utility upgrades are not included in the scope of this study or in the cost estimate.

The estimate includes the following:

- Foundations, superstructure, exterior closure, roofing, interior construction, interior finishes, mechanical, electrical, plumbing, and site work as included in documents referred to herein
- Subcontractor and general contractor mark ups
- Design Contingency
- Bonds, insurance, and mobilization
- Demolition
- Industrial Shop Equipment

The estimate specifically excludes the following:

- Removal of toxic hazardous materials (if any)
- Real Estate/Right-of-Way Acquisition
- Legal and finance fees
- Owner's administration costs

It is assumed that the above items, if needed, are included elsewhere in the owner's overall project budget.

The estimate is based on all work to be performed during regular working hours. No premium allowance is included for overtime, working at nights or weekends.

Items potentially affecting the cost estimate:

- Modifications to the scope of work included in this estimate
- Unforeseen sub-surface conditions
- Restrictive technical specifications or excessive contract conditions
- Any specified item of equipment, material, or product that cannot be obtained from at least three different sources
- Any other non-competitive bid situations

Materials and Quality of Construction

It is anticipated that City of Bend desires quality materials that are durable for new construction. Funding priorities rarely allow replacement for these types of facilities in less than a 30 to 40-year cycle. Inexpensive materials such as corrugated steel siding and wood construction have a service life of no more than 20 years. Inexpensive systems also cost more to maintain and operate.

Soft Costs

Soft Costs are included in the Opinion of Probable Cost to ensure that there are adequate available funds to cover the costs of necessary contingencies, project construction management, permitting, insurance, materials testing, design services, surveying, and other miscellaneous items. These soft costs are figured as a percentage of the total construction cost and have likewise been based on historical data from other projects of similar characteristics.

Phased Construction Schedule

Phased schedule is not currently being accounted for.

Escalation Costs

A 6% escalation of costs is being included assuming all construction will commence approximately one year from the date of this report. The cost escalation percentage for individual portions of the near-term phasing plan may need to be revised if those portions of work are to be phased.

Opinion of Probable Cost

See cost summary tables following the design concept exhibits for Juniper Ridge, Option #1 and Option #2. Cost summaries were not requested for the Boyd Acres concept options. Please note that the estimates have been based on preliminary and limited information and only serve as general guidelines for more specific and detailed studies in the future. Updated estimates should be prepared when more specific and detailed design information is available.

Please note that there are a few aspects of project costs shown in the new cost summaries for the Juniper Ridge options that were not listed out in the original 2015 cost summaries for the Pilot Butte and Boyd Acres sites. These include:

- General Conditions, Insurance, Bonds – Typically 10% of (construction cost + contingency + escalation)
- General Contractor Overhead & Profit – Typically 5% of (construction cost + contingency + escalation + general conditions)
- Interior Costs, Furniture, Fixtures & Equipment (FF&E) – Typically 5% to 25% of total construction cost (shown as specialty equipment in 2015 cost summaries where applicable)

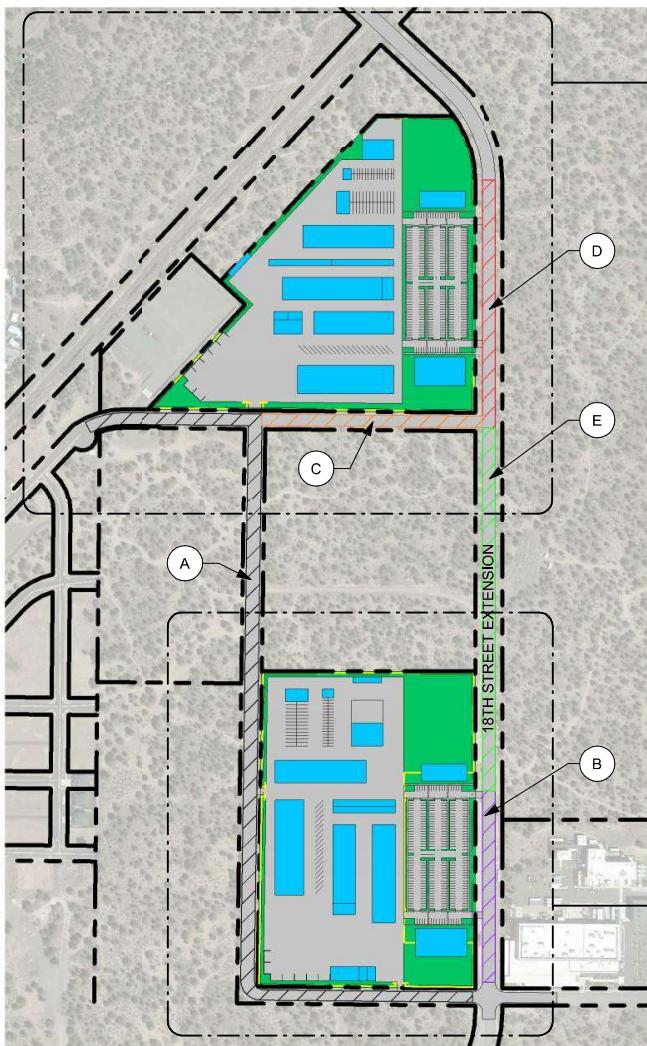
These aspects of project costs are shown in the attached cost summaries in order to conform with typical cost summary standards used by cost estimation consultants. Their inclusion is meant to make the cost summaries more accurate and to provide the City of Bend a more itemized accounting of the costs related to the Juniper Ridge project.

Conclusion

The Opinion of Probable Cost presented in this section for the renovations and new construction will assist the City of Bend to make strategic decisions about funding the different phases of the project. It is by no means a final cost and is intended to be a flexible document with heavy contingency that will represent changing information based on City of Bend and the Design Team's decisions throughout the planning process. If the City is able to get larger portions of funding, some of the construction phasing may be combined to reduce the amount of time for construction.

Vicinity Map & Reference Site Plan (Exhibit A1.0)

This exhibit shows the context of the proposed sites (Option #1 & Option #2) and information about new road construction required for access to those sites.



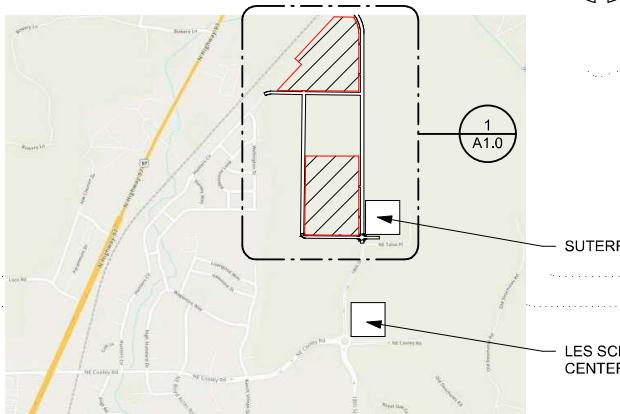
1
A1.2
OPTION #2

LEGEND - ROAD OPTIONS

- A. **PHASE 1**
(ROAD TO BE ADDED TO PROVIDE
ACCESS TO SOLD PARCEL)
60' ROW - INDUSTRIAL LOCAL
CURB-TO-CURB WIDTH = 40'
LENGTH = 3,400 FT X \$379/LF = **\$1,288,600**
- B. **PHASE 2A**
(ROAD TO BE ADDED IF SOUTH SITE IS
CHOSEN)
100' ROW - ARTERIAL
CURB-TO-CURB WIDTH = 76'
LENGTH = 678 FT X \$974/SF = **\$660,372**
- C. **PHASE 2B**
(ROAD TO BE ADDED IF NORTH SITE IS
CHOSEN)
60' ROW - INDUSTRIAL LOCAL
CURB-TO-CURB WIDTH = 40'
LENGTH = 740 FT X \$379/LF = **\$280,460**
- D. **PHASE 2B**
(ROAD TO BE ADDED IF NORTH SITE IS
CHOSEN)
100' ROW - ARTERIAL
CURB-TO-CURB WIDTH = 76'
LENGTH = 1,000 FT X \$974/SF = **\$974,000**
- E. **PHASE 3**
(ROAD TO BE ADDED TO PROVIDE
CONNECTION FROM 18TH STREET)
100' ROW - ARTERIAL
CURB-TO-CURB WIDTH = 76'
LENGTH = 1,286 FT X \$974/SF = **\$1,252,564**

1
A1.1
OPTION #1

① SITE PLAN - REFERENCE
1" = 400'-0"



SUTERRA
LES SCHWAB TIRE
CENTER HEADQUARTERS

② VICINITY MAP
NOT TO SCALE

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Project: CITY OF BEND MASTER PLAN JUNIPER RIDGE CITY OF BEND	Date: 10/15/18	Reference Sheet No.
Drawing Title: REFERENCE SITE PLAN		A1.0

Option #1 (Exhibit A1.1 & C1.1)

BLRB was asked by the City of Bend to produce master plan Option #1 as described below:

Develop master plan on City of Bend-owned Juniper Ridge property just West of the existing Suterra site. Combine the program elements from the 2015 City of Bend Public Works Facilities Study Pilot Butte & Boyd Acres Sites. Base the master plan design on the documented information and plan diagrams from that study.

2.5 Option 1: South Site

A1.1 Site Plan

C1.1 Civil Conceptual Grading Plan

Cost Estimate



① SITE PLAN - OPTION #1
1" = 200'-0"



LEGEND

INDUSTRIAL ZONE REQUIREMENTS

MIN. FRONT YARD SETBACK: 10 FT
 MIN. BACK/SIDE YARD SETBACK: NONE
 MAX. LOT COVERAGE: 80%
 MAX. BUILDING HEIGHT: 50 FT
 MIN. LANDSCAPE COVER: 15%
 (75% OF 15% REQUIREMENT SHALL
 BE LOCATED WITHIN FRONT YARD
 SETBACKS AND PARKING AREA OR
 OTHER AREAS VISIBLE TO THE
 PUBLIC)

PROPOSED LOT

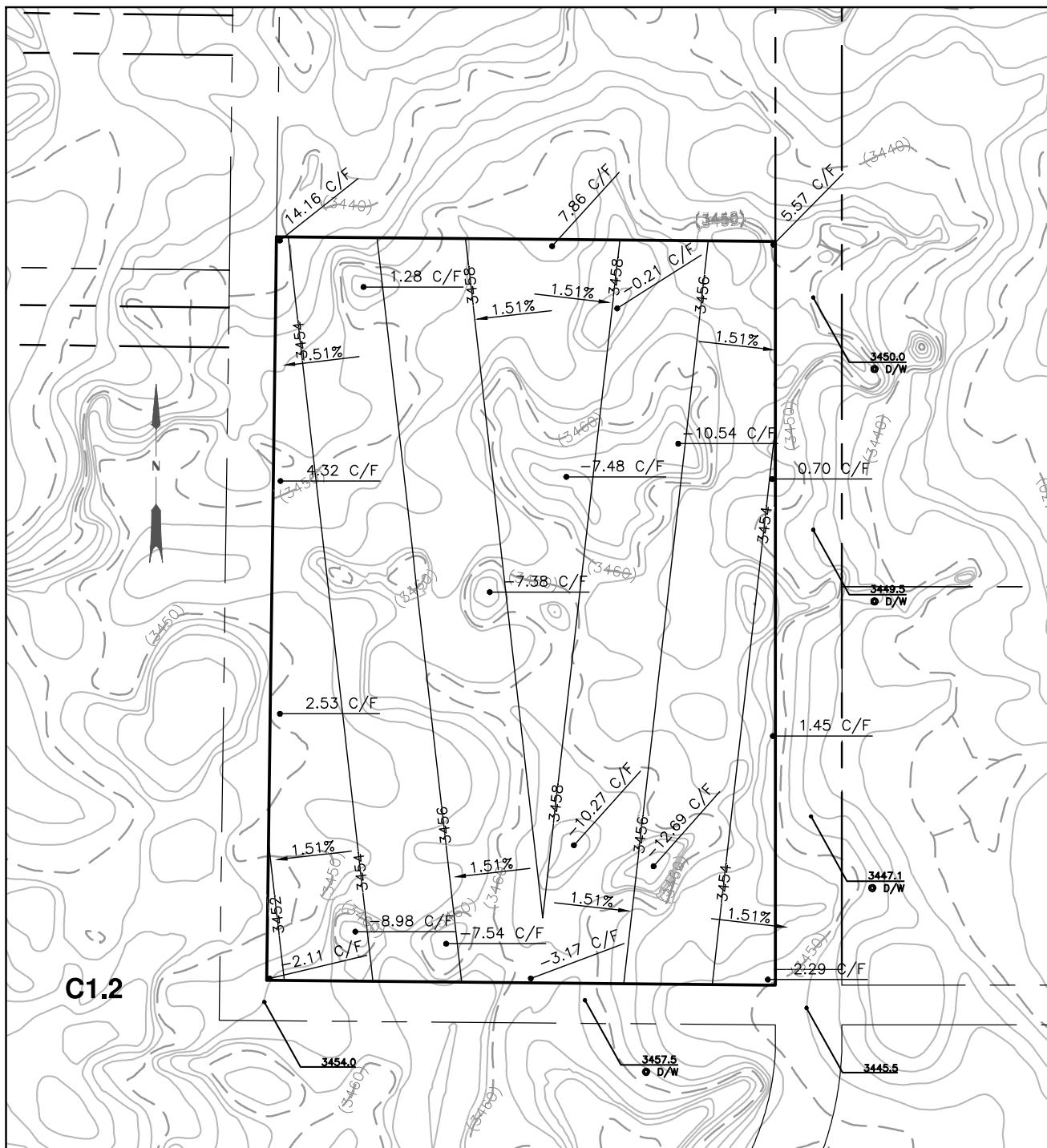
LOT AREA (849,474 SF): 19.5 AC
 LOT COVERAGE (173,000 SF): 20.3%
 LANDSCAPE COVERAGE (192,605 SF): 22.7%

1. FUEL ISLAND (1,200 SF) (CONSOLIDATED FROM 2015 PILOT BUTTE & BOYD ACRES MASTER PLANS)
2. OPEN COVERED VEHICLE PARKING (28,240 SF)
3. OPEN COVERED SMALL TRUCK PARKING (10,120 SF)
4. HEATED TRUCK PARKING BUILDING (22,640 SF)
5. YARD AREA - MATERIAL BINS, VACTOR DUMP (12,600 SF) (CONSOLIDATED FROM 2015 PILOT BUTTE & BOYD ACRES MASTER PLANS)
6. SAND PILE
7. MAG CHLORIDE AREA
8. COVERED SWEEPER / DECANT FACILITY (3,200 SF)
9. FLEET BUILDING (35,000 SF)
10. TRUCK WASH (3,600 SF) (CONSOLIDATED FROM 2015 PILOT BUTTE & BOYD ACRES MASTER PLANS)
11. ADMINISTRATION BUILDING (36,000 SF, 2-STORY) (CONSOLIDATED FROM 2015 PILOT BUTTE & BOYD ACRES MASTER PLANS)
12. SHOP / REPAIR BUILDING (25,600 SF) (CONSOLIDATED FROM 2015 PILOT BUTTE & BOYD ACRES MASTER PLANS)
13. EMPLOYEE / VISITOR PARKING (93,000 SF)
14. WAREHOUSE BUILDING (10,000 SF)
15. WAREHOUSE STORAGE YARD (8,800 SF)
16. WATER LAB BUILDING (9,400 SF)
17. (2) STORAGE SHEDS (3,000 SF)
18. YARD STORAGE (5,000 SF)
19. TRUCK PARKING - (30-34) 10'X20' SPACES
20. TRUCK / EQUIPMENT PARKING - (26) 12'X40' SPACES DOWN / READY LINE
- 21.

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Project: CITY OF BEND MASTER PLAN JUNIPER RIDGE	Date: 10/26/18	Reference Sheet No.
CITY OF BEND		A1.1



Cut & Fill: 49,800 CY (Balanced)

**CITY OF BEND PUBLIC WORK MASTER PLANNING
OPTION #1 COST R.O.M.**

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Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information		
Fuel Island							
A Construction Costs							
Fuel Island		1		\$872,000	\$872,000 9% inflation from 2015 cost of \$800,000		
A1	Total Building Costs			\$872,000			
A2	Contingency	15%	Of Line A1	\$130,800			
A3	Escalation	6%	Of Line A1+A2	\$60,168			
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3	\$106,297			
A5	GC oh&p	5%	Of Line A1+A2+A3+A4	\$58,463			
A6	Total Construction Costs			\$1,227,728			
B Soft Cost							
B1	A&E, permits, fees, inspections	15%	Of Line A1+A2+A3	\$159,445.20			
C Interior Costs (N/A)							
D Total Project Costs							
Total Construction Costs		A6		\$1,227,728			
Total Soft Costs		B1		\$159,445			
	Total Project Costs			\$1,387,173			
Site Grading/Paving/Fencing							
A Construction Costs							
General Site Work		849,474 SF	\$5	\$4,247,370			
Cut & Fill (Balanced)		49,800 CY	\$20	\$996,000			
Misc. Paving and Drainage		377,403 SF	\$3	\$1,132,209			
Employee/Visitor Parking	13	93,000 SF	\$10	\$930,000			
Site Fencing		3,789 LF	\$25	\$94,725			
Secure Gate		4	\$25,000	\$100,000			
A1	Total Building Costs			\$7,500,304			
A2	Contingency	20%	Of Line A1	\$1,500,061			
A3	Escalation	6%	Of Line A1+A2	\$540,022			
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3	\$954,039			
A5	GC oh&p	5%	Of Line A1+A2+A3+A4	\$524,721			
A6	Total Construction Costs			\$11,019,147			
B Soft Cost							
B1	A&E, permits, fees, inspections	15%	Of Line A1+A2+A3	\$1,431,058			
C Interior Costs (N/A)							
D Total Project Costs							
Total Construction Costs		A6		\$11,019,147			
Total Soft Costs		B1		\$1,431,058			
	Total Project Costs			\$12,450,205			

**CITY OF BEND PUBLIC WORK MASTER PLANNING
OPTION #1 COST R.O.M.**

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Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information
Vehicle Storage/Parking					
A Construction Costs					
Open, Covered Parking Bldg.	2	80' x 353'	28,240 SF	\$75	\$2,118,000 Open, some power
Open, Covered Small Truck Parking Bldg.	3	23' x 440'	10,120 SF	\$60	\$607,200 Open, some power
Heated Parking Bldg.	4	80' x 283'	22,640 SF	\$90	\$2,037,600 36 14' w doors, power, heat
Yard Area - Material Bin, Vactor Dump	5		12,000 SF	\$10	\$120,000
Mag Chloride Area	7	20' x 50'	1	\$109,000	Ext. tanks, concrete pad; 9% inflation from 2015 cost of \$100,000
Covered Sweeper / Decant Facility	8	40' x 80'	3,200 SF	\$40	New asphalt-paved parking / drive aisles with required drainage.
A1 Total Building Costs				\$5,119,800	
A2 Contingency	20%	Of Line A1		\$1,023,960	
A3 Escalation	6%	Of Line A1+A2		\$368,626	
A4 General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$651,239	
A5 GC oh&p	5%	Of Line A1+A2+A3+A4		\$358,181	
A6 Total Construction Costs				\$7,521,805	
B Soft Cost					
B1 A&E, permits, fees, inspections	20%	Of Line A1+A2+A3		\$1,302,477	
C Interior Costs					
C1 Furniture, Fixtures and movable equipment	0%	Of Line A6		\$0	F,F,& E, 5% to 25% of total construction costs
D Total Project Costs					
Total Construction Costs		A6		\$7,521,805	
Total Soft Costs		B1		\$1,302,477	
Total Interior Costs		C1		\$0	
Total Project Costs				\$8,824,282	
Fleet Building					
A Construction Costs					
Fleet Maintenance Building	9	100' x 350'	35,000 SF	\$145	\$5,075,000
Truck Wash	10		1	\$490,500	\$490,500 Drainage, 9% inflation from 2015 cost of \$450,000
A1 Total Building Costs				\$5,565,500	
A2 Contingency	20%	Of Line A1		\$1,113,100	
A3 Escalation	6%	Of Line A1+A2		\$400,716	
A4 General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$707,932	
A5 GC oh&p	5%	Of Line A1+A2+A3+A4		\$389,362	
A6 Total Construction Costs				\$8,176,610	
B Soft Cost					
B1 A&E, permits, fees, inspections	20%	Of Line A1+A2+A3		\$1,415,863	
C Interior Costs					
C1 Furniture, Fixtures, Lifts and Specialized Equipment	18%	Of Line A6		\$1,471,790	F,F,& E, 5% to 25% of total construction costs. Cost was shown as \$1,400,000 in 2015 study.
D Total Project Costs					
Total Construction Costs		A6		\$8,176,610	
Total Soft Costs		B1		\$1,415,863	
Total Interior Costs		C1		\$1,471,790	
Total Project Costs				\$11,064,263	

**CITY OF BEND PUBLIC WORK MASTER PLANNING
OPTION #1 COST R.O.M.**

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Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information
Administration Building					
A Construction Costs					
ROW Operations and Maintenance	11	14,200 SF	\$200	\$2,840,000	
Facilities Division	11	1,100 SF	\$200	\$220,000	
Utilities	11	11,200 SF	\$200	\$2,240,000	
Utilities Operations	11	5,400 SF	\$200	\$1,080,000	
A1				\$6,380,000	
A2	Contingency	20%	Of Line A1	\$1,276,000	
A3	Escalation	6%	Of Line A1+A2	\$459,360	
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3	\$811,536	
A5	GC oh&p	5%	Of Line A1+A2+A3+A4	\$446,345	
A6				\$9,373,241	
B Soft Cost					
B1	A&E, permits, fees, inspections	25%	Of Line A1+A2+A3	\$2,028,840	
C Interior Costs					
C1	Furniture, Fixtures and movable equipment	10%	Of Line A6	\$937,324 F,F,& E, 5% to 25% of total construction costs	
D Total Project Costs					
	Total Construction Costs	A6		\$9,373,241	
	Total Soft Costs	B1		\$2,028,840	
	Total Interior Costs	C1		\$937,324	
				\$12,339,405	
Shop Building					
A Construction Costs					
ROW Operations and Maintenance	12	17,000 SF	\$150	\$2,550,000	
Facilities Division	12	5,000 SF	\$150	\$750,000	
Utilities	12	3,300 SF	\$150	\$495,000	
A1				\$3,795,000	
A2	Contingency	15%	Of Line A1	\$569,250	
A3	Escalation	6%	Of Line A1+A2	\$261,855	
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3	\$462,611	
A5	GC oh&p	5%	Of Line A1+A2+A3+A4	\$254,436	
A6				\$5,343,151	
B Soft Cost					
B1	A&E, permits, fees, inspections	20%	Of Line A1+A2+A3	\$925,221	
C Interior Costs					
C1	Furniture, Fixtures and Specialized Equipment	18%	Of Line A6	\$961,767 F,F,& E, 5% to 25% of total construction costs	
D Total Project Costs					
	Total Construction Costs	A6		\$5,343,151	
	Total Soft Costs	B1		\$925,221	
	Total Interior Costs	C1		\$961,767	
				\$7,230,140	

**CITY OF BEND PUBLIC WORK MASTER PLANNING
OPTION #1 COST R.O.M.**

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Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information		
Warehouse/Covered Storage							
A Construction Costs							
Warehouse	14	80' x 100'	9,900 SF	\$110	\$1,089,000		
Covered Pipe Storage, Open		25' x 200'	5,000 sf	\$50	\$250,000 Exterior, covered racks		
A1		Total Building Costs		\$1,339,000			
A2	Contingency	15%	Of Line A1	\$200,850			
A3	Escalation	6%	Of Line A1+A2	\$92,391			
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3	\$163,224			
A5	GC oh&p	5%	Of Line A1+A2+A3+A4	\$89,773			
A6		Total Construction Costs		\$1,885,238			
B Soft Cost							
B1	A&E, permits, fees, inspections	20%	Of Line A1+A2+A3	\$326,448			
C Interior Costs							
C1	Furniture, Fixtures and movable equipment	0%	Of Line A6	\$0 F,F,& E, 5% to 25% of total construction costs			
D Total Project Costs							
	Total Construction Costs	A6		\$1,885,238			
	Total Soft Costs	B1		\$326,448			
	Total Interior Costs	C1		\$0			
	Total Project Costs			\$2,211,687			
Water Lab Building							
A Construction Costs							
Water Lab	16	76' x 60	4,560 SF	\$250	\$1,140,000 Lab Space, Special Ventilation		
Offices	16	76' x 60	4,560 SF	\$200	\$912,000 Exterior, covered racks		
A1		Total Building Costs		\$2,052,000			
A2	Contingency	20%	Of Line A1	\$410,400			
A3	Escalation	6%	Of Line A1+A2	\$147,744			
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3	\$261,014			
A5	GC oh&p	5%	Of Line A1+A2+A3+A4	\$143,558			
A6		Total Construction Costs		\$3,014,716			
B Soft Cost							
B1	A&E, permits, fees, inspections	25%	Of Line A1+A2+A3	\$652,536			
C Interior Costs							
C1	Furniture, Fixtures and movable equipment	10%	Of Line A6	\$301,472 F,F,& E, 5% to 25% of total construction costs			
D Total Project Costs							
	Total Construction Costs	A6		\$3,014,716			
	Total Soft Costs	B1		\$652,536			
	Total Interior Costs	C1		\$301,472			
	Total Project Costs			\$3,968,724			

**CITY OF BEND PUBLIC WORK MASTER PLANNING
OPTION #1 COST R.O.M.**

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Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information
Roadway (off-site)					
A Construction Costs					
60' Right-of-Way (40' curb-to-curb)	A	40' x 3,400	3,400 SF	\$379	\$1,288,600
100' Right-of-Way (76' curb-to-curb)	B	76' x 678	678 SF	\$974	\$660,372
A1					\$1,948,972
A2	Contingency	20%	Of Line A1		\$389,794
A3	Escalation	6%	Of Line A1+A2		\$140,326
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$247,909
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$136,350
A6					\$2,863,352
B Soft Cost					
B1	A&E, permits, fees, inspections	25%	Of Line A1+A2+A3		\$619,773
C Interior Costs (N/A)					
D Total Project Costs					
Total Construction Costs		A6		\$2,863,352	
Total Soft Costs		B1		\$619,773	
					\$3,483,125
TOTAL CITY OF BEND PUBLIC WORKS COMPLEX				\$62,959,003	

Option #2 (Exhibit A1.2 & C1.2)

BLRB was asked by the City of Bend to produce master plan Option #2 as described below:

Develop master plan on City of Bend-owned Juniper Ridge property just South of the existing Railroad line and East of the existing power substation. Combine the program elements from the 2015 City of Bend Public Works Facilities Study Pilot Butte & Boyd Acres Sites. Base the master plan design on the documented information and plan diagrams from that study.

2.6 Option 2: North Site

A1.2 Site Plan

C1.2 Civil Conceptual Grading Plan

Cost Estimate



1 SITE PLAN - OPTION 2
1" = 200'-0"



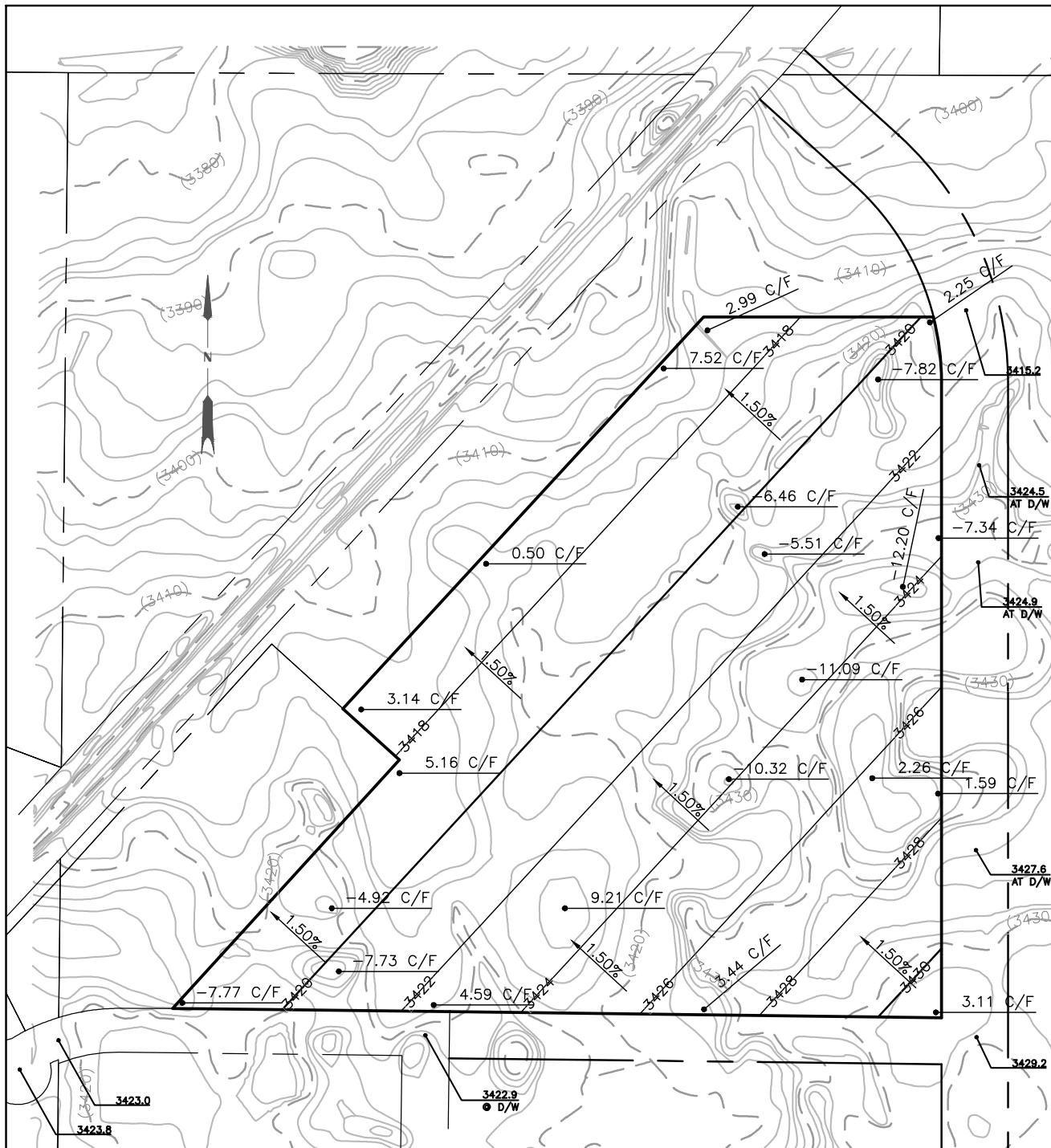
LEGEND

1. FUEL ISLAND (1,200 SF) (CONSOLIDATED FROM 2015 PILOT BUTTE & BOYD ACRES MASTER PLANS)
2. OPEN COVERED VEHICLE PARKING (28,240 SF)
3. OPEN COVERED SMALL TRUCK PARKING (10,120 SF)
4. HEATED TRUCK PARKING BUILDING (22,640 SF)
5. YARD AREA - MATERIAL BINS, VACTOR DUMP (12,600 SF) (CONSOLIDATED FROM 2015 PILOT BUTTE & BOYD ACRES MASTER PLANS)
6. SAND PILE
7. MAG CHLORIDE AREA
8. COVERED SWEEPER / DECANT FACILITY (3,200 SF)
9. FLEET BUILDING (35,000 SF)
10. TRUCK WASH (3,600 SF) (CONSOLIDATED FROM 2015 PILOT BUTTE & BOYD ACRES MASTER PLANS)
11. ADMINISTRATION BUILDING (36,000 SF, 2-STORY) (CONSOLIDATED FROM 2015 PILOT BUTTE & BOYD ACRES MASTER PLANS)
12. SHOP / REPAIR BUILDING (25,600 SF) (CONSOLIDATED FROM 2015 PILOT BUTTE & BOYD ACRES MASTER PLANS)
13. EMPLOYEE / VISITOR PARKING (93,000 SF)
14. WAREHOUSE BUILDING (10,000 SF)
15. WAREHOUSE STORAGE YARD (8,800 SF)
16. WATER LAB BUILDING (9,400 SF)
17. (2) STORAGE SHEDS (3,000 SF)
18. YARD STORAGE (5,000 SF)
19. TRUCK PARKING - (30-34) 10'X20' SPACES
20. TRUCK / EQUIPMENT PARKING - (26) 12'X40' SPACES DOWN / READY LINE
21. FUTURE ROAD
22. FUTURE 18TH STREET EXTENSION

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Project: CITY OF BEND MASTER PLAN JUNIPER RIDGE	Date: 10/26/18	Reference Sheet No.
CITY OF BEND		A1.2



Cut & Fill: 54,800 CY (Balanced)



CoronaDesignGroup.com
541-862-1471

Protective

CITY OF BEND MASTER PLAN FOR JUNIPER RIDGE

Review

NORTH LOT - 18TH & HUNTERS

Date: 10/2/18

Drawn By:

Mark Risch

Scale:

C1.2

**CITY OF BEND PUBLIC WORK MASTER PLANNING
OPTION #2 COST R.O.M.**

BLRB architects

Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information		
Fuel Island							
A Construction Costs							
Fuel Island		1		\$872,000	\$872,000 9% inflation from 2015 cost of \$800,000		
A1	Total Building Costs			\$872,000			
A2	Contingency	15%	Of Line A1	\$130,800			
A3	Escalation	6%	Of Line A1+A2	\$60,168			
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3	\$106,297			
A5	GC oh&p	5%	Of Line A1+A2+A3+A4	\$58,463			
A6	Total Construction Costs			\$1,227,728			
B Soft Cost							
B1	A&E, permits, fees, inspections	15%	Of Line A1+A2+A3	\$159,445.20			
C Interior Costs (N/A)							
D Total Project Costs							
Total Construction Costs		A6		\$1,227,728			
Total Soft Costs		B1		\$159,445			
	Total Project Costs			\$1,387,173			
Site Grading/Paving/Fencing							
A Construction Costs							
General Site Work		801,344 SF	\$5	\$4,006,720			
Cut & Fill (Balanced)		54,800 CY	\$20	\$1,096,000			
Misc. Paving and Drainage		344,122 SF	\$3	\$1,032,366			
Employee/Visitor Parking	13	93,000 SF	\$10	\$930,000			
Site Fencing		3,888 LF	\$25	\$97,200			
Secure Gate		3	\$25,000	\$75,000			
A1	Total Building Costs			\$7,237,286			
A2	Contingency	20%	Of Line A1	\$1,447,457			
A3	Escalation	6%	Of Line A1+A2	\$521,085			
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3	\$920,583			
A5	GC oh&p	5%	Of Line A1+A2+A3+A4	\$506,321			
A6	Total Construction Costs			\$10,632,731			
B Soft Cost							
B1	A&E, permits, fees, inspections	15%	Of Line A1+A2+A3	\$1,380,874			
C Interior Costs (N/A)							
D Total Project Costs							
Total Construction Costs		A6		\$10,632,731			
Total Soft Costs		B1		\$1,380,874			
	Total Project Costs			\$12,013,605			

**CITY OF BEND PUBLIC WORK MASTER PLANNING
OPTION #2 COST R.O.M.**

BLRB architects

Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information
Vehicle Storage/Parking					
A Construction Costs					
Open, Covered Parking Bldg.	2	80' x 353'	28,240 SF	\$75	\$2,118,000 Open, some power
Open, Covered Small Truck Parking Bldg.	3	23' x 440'	10,120 SF	\$60	\$607,200 Open, some power
Heated Parking Bldg.	4	80' x 283'	22,640 SF	\$90	\$2,037,600 36 14' w doors, power, heat
Yard Area - Material Bin, Vactor Dump	5		12,000 SF	\$10	\$120,000
Mag Chloride Area	7	20' x 50'	1	\$109,000	Ext. tanks, concrete pad; 9% inflation from 2015 cost of \$100,000
Covered Sweeper / Decant Facility	8	40' x 80'	3,200 SF	\$40	New asphalt-paved parking / drive aisles with required drainage.
A1 Total Building Costs				\$5,119,800	
A2 Contingency	20%	Of Line A1		\$1,023,960	
A3 Escalation	6%	Of Line A1+A2		\$368,626	
A4 General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$651,239	
A5 GC oh&p	5%	Of Line A1+A2+A3+A4		\$358,181	
A6 Total Construction Costs				\$7,521,805	
B Soft Cost					
B1 A&E, permits, fees, inspections	20%	Of Line A1+A2+A3		\$1,302,477	
C Interior Costs					
C1 Furniture, Fixtures and movable equipment	0%	Of Line A6		\$0	F,F,& E, 5% to 25% of total construction costs
D Total Project Costs					
Total Construction Costs		A6		\$7,521,805	
Total Soft Costs		B1		\$1,302,477	
Total Interior Costs		C1		\$0	
Total Project Costs				\$8,824,282	
Fleet Building					
A Construction Costs					
Fleet Maintenance Building	9	100' x 350'	35,000 SF	\$145	\$5,075,000
Truck Wash	10		1	\$490,500	\$490,500 Drainage, 9% inflation from 2015 cost of \$450,000
A1 Total Building Costs				\$5,565,500	
A2 Contingency	20%	Of Line A1		\$1,113,100	
A3 Escalation	6%	Of Line A1+A2		\$400,716	
A4 General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$707,932	
A5 GC oh&p	5%	Of Line A1+A2+A3+A4		\$389,362	
A6 Total Construction Costs				\$8,176,610	
B Soft Cost					
B1 A&E, permits, fees, inspections	20%	Of Line A1+A2+A3		\$1,415,863	
C Interior Costs					
C1 Furniture, Fixtures, Lifts and Specialized Equipment	18%	Of Line A6		\$1,471,790	F,F,& E, 5% to 25% of total construction costs. Cost was shown as \$1,400,000 in 2015 study.
D Total Project Costs					
Total Construction Costs		A6		\$8,176,610	
Total Soft Costs		B1		\$1,415,863	
Total Interior Costs		C1		\$1,471,790	
Total Project Costs				\$11,064,263	

**CITY OF BEND PUBLIC WORK MASTER PLANNING
OPTION #2 COST R.O.M.**

BLRB architects

Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information
Administration Building					
A Construction Costs					
ROW Operations and Maintenance	11	14,200 SF	\$200	\$2,840,000	
Facilities Division	11	1,100 SF	\$200	\$220,000	
Utilities	11	11,200 SF	\$200	\$2,240,000	
Utilities Operations	11	5,400 SF	\$200	\$1,080,000	
A1				\$6,380,000	
A2	Contingency	20%	Of Line A1	\$1,276,000	
A3	Escalation	6%	Of Line A1+A2	\$459,360	
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3	\$811,536	
A5	GC oh&p	5%	Of Line A1+A2+A3+A4	\$446,345	
A6				\$9,373,241	
B Soft Cost					
B1	A&E, permits, fees, inspections	25%	Of Line A1+A2+A3	\$2,028,840	
C Interior Costs					
C1	Furniture, Fixtures and movable equipment	10%	Of Line A6	\$937,324 F,F,& E, 5% to 25% of total construction costs	
D Total Project Costs					
	Total Construction Costs	A6		\$9,373,241	
	Total Soft Costs	B1		\$2,028,840	
	Total Interior Costs	C1		\$937,324	
				\$12,339,405	
Shop Building					
A Construction Costs					
ROW Operations and Maintenance	12	17,000 SF	\$150	\$2,550,000	
Facilities Division	12	5,000 SF	\$150	\$750,000	
Utilities	12	3,300 SF	\$150	\$495,000	
A1				\$3,795,000	
A2	Contingency	15%	Of Line A1	\$569,250	
A3	Escalation	6%	Of Line A1+A2	\$261,855	
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3	\$462,611	
A5	GC oh&p	5%	Of Line A1+A2+A3+A4	\$254,436	
A6				\$5,343,151	
B Soft Cost					
B1	A&E, permits, fees, inspections	20%	Of Line A1+A2+A3	\$925,221	
C Interior Costs					
C1	Furniture, Fixtures and Specialized Equipment	18%	Of Line A6	\$961,767 F,F,& E, 5% to 25% of total construction costs	
D Total Project Costs					
	Total Construction Costs	A6		\$5,343,151	
	Total Soft Costs	B1		\$925,221	
	Total Interior Costs	C1		\$961,767	
				\$7,230,140	

**CITY OF BEND PUBLIC WORK MASTER PLANNING
OPTION #2 COST R.O.M.**

BLRB architects

Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information		
Warehouse/Covered Storage							
A Construction Costs							
Warehouse	14	80' x 100'	9,900 SF	\$110	\$1,089,000		
Covered Pipe Storage, Open		25' x 200'	5,000 sf	\$50	\$250,000 Exterior, covered racks		
A1		Total Building Costs		\$1,339,000			
A2	Contingency	15%	Of Line A1	\$200,850			
A3	Escalation	6%	Of Line A1+A2	\$92,391			
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3	\$163,224			
A5	GC oh&p	5%	Of Line A1+A2+A3+A4	\$89,773			
A6		Total Construction Costs		\$1,885,238			
B Soft Cost							
B1	A&E, permits, fees, inspections	20%	Of Line A1+A2+A3	\$326,448			
C Interior Costs							
C1	Furniture, Fixtures and movable equipment	0%	Of Line A6	\$0 F,F,& E, 5% to 25% of total construction costs			
D Total Project Costs							
	Total Construction Costs	A6		\$1,885,238			
	Total Soft Costs	B1		\$326,448			
	Total Interior Costs	C1		\$0			
	Total Project Costs			\$2,211,687			
Water Lab Building							
A Construction Costs							
Water Lab	16	76' x 60	4,560 SF	\$250	\$1,140,000 Lab Space, Special Ventilation		
Offices	16	76' x 60	4,560 SF	\$200	\$912,000 Exterior, covered racks		
A1		Total Building Costs		\$2,052,000			
A2	Contingency	20%	Of Line A1	\$410,400			
A3	Escalation	6%	Of Line A1+A2	\$147,744			
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3	\$261,014			
A5	GC oh&p	5%	Of Line A1+A2+A3+A4	\$143,558			
A6		Total Construction Costs		\$3,014,716			
B Soft Cost							
B1	A&E, permits, fees, inspections	25%	Of Line A1+A2+A3	\$652,536			
C Interior Costs							
C1	Furniture, Fixtures and movable equipment	10%	Of Line A6	\$301,472 F,F,& E, 5% to 25% of total construction costs			
D Total Project Costs							
	Total Construction Costs	A6		\$3,014,716			
	Total Soft Costs	B1		\$652,536			
	Total Interior Costs	C1		\$301,472			
	Total Project Costs			\$3,968,724			

**CITY OF BEND PUBLIC WORK MASTER PLANNING
OPTION #2 COST R.O.M.**

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Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information
Roadway (off-site)					
A Construction Costs					
60' Right-of-Way (40' curb-to-curb)	A	40' x 3,400	3,400 SF	\$379	\$1,288,600
60' Right-of-Way (40' curb-to-curb)	C	40' x 740	740 SF	\$379	\$280,460
100' Right-of-Way (76' curb-to-curb)	D	76' x 678	1,000 SF	\$974	\$974,000
A1 Total Building Costs				\$2,543,060	
A2 Contingency		20%	Of Line A1		\$508,612
A3 Escalation		6%	Of Line A1+A2		\$183,100
A4 General Conditions, insurance, bond		10%	Of Line A1+A2+A3		\$323,477
A5 GC oh&p		5%	Of Line A1+A2+A3+A4		\$177,912
A6 Total Construction Costs				\$3,736,162	
B Soft Cost					
B1 A&E, permits, fees, inspections		25%	Of Line A1+A2+A3		\$808,693
C Interior Costs (N/A)					
D Total Project Costs					
Total Construction Costs	A6			\$3,736,162	
Total Soft Costs	B1			\$808,693	
Total Project Costs				\$4,544,855	
TOTAL CITY OF BEND PUBLIC WORKS COMPLEX				\$63,584,134	

Section Three

Design Concepts – Boyd Acres

Boyd Acres Design Concepts

Option #1

BLRB was asked by the City of Bend to produce master plan Option #1 as described below:

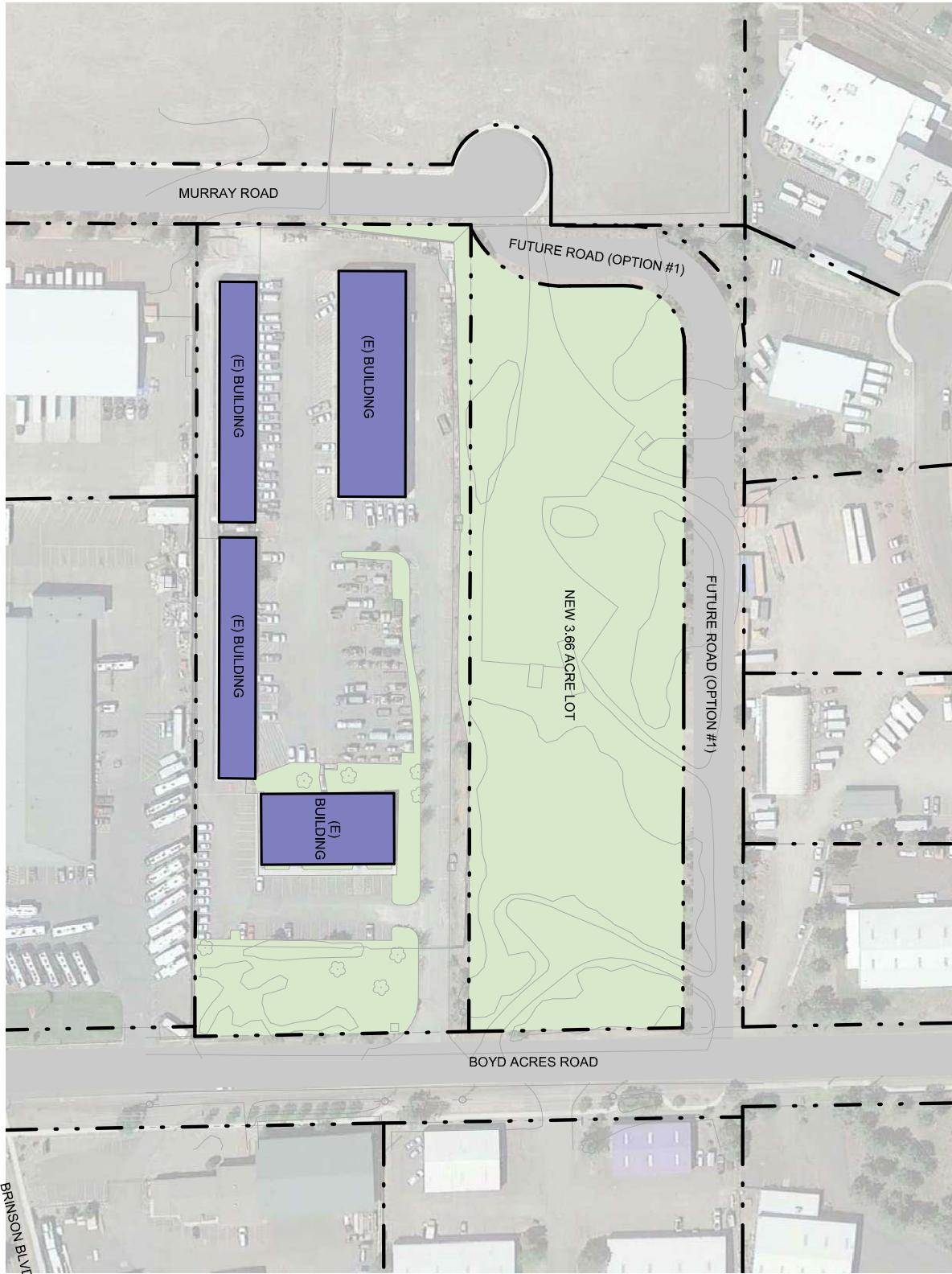
Show new road to north of the entire site and provide single, large lot just north of the developed portion of the existing site.

Option #2

BLRB was asked by the City of Bend to produce master plan Option #2 as described below:

Show new road just north of the developed portion of the existing site. Partition the remaining portion of the site, north of the new road, into four equally sized properties.

1 SITE PLAN - OPTION #1
1" = 100'-0"



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Project: CITY OF BEND MASTER PLAN BOYD ACRES
CITY OF BEND

Drawing Title: SITE PLAN OPTION #1

Date: 10/15/18

Reference Sheet No.

A1.1

1 SITE PLAN - OPTION #2
1" = 100'-0"



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Project: CITY OF BEND MASTER PLAN BOYD ACRES CITY OF BEND	Date: 10/15/18	Reference Sheet No. A1.2
Drawing Title: SITE PLAN OPTION #2		

Section Four

2015 Concept References

2015 Conceptual Site Plans

The following exhibits show the site plan concepts for the Pilot Butte and Boyd Acres sites from the 2015 City of Bend Public Works Facilities Study.

Revised 2015 Cost Tables

The tables within this section are updated versions of the original 2015 Pilot Butte and Boyd Acres cost estimates. They have been revised to include general conditions, insurance and bond costs as well as general contractor overhead and profit costs. Additionally, in an effort to compare and contrast the costs of the current proposed Juniper Ridge master plan concepts with the 2015 Pilot Butte and Boyd Acres master plan concepts, an escalation factor has been incorporated into the original cost estimates. This escalation factor results in costs that reflect estimated inflationary cost increases through a date approximately one year from the date of this report (to match the date of the costs shown for the Juniper Ridge concepts).

The revised project costs for the 2015 Pilot Butte and Boyd Acres master plan concepts are as follows:

2015 Pilot Butte Master Plan	\$38,067,068
2015 Boyd Acres Master Plan	\$17,283,143
Total	\$55,350,211

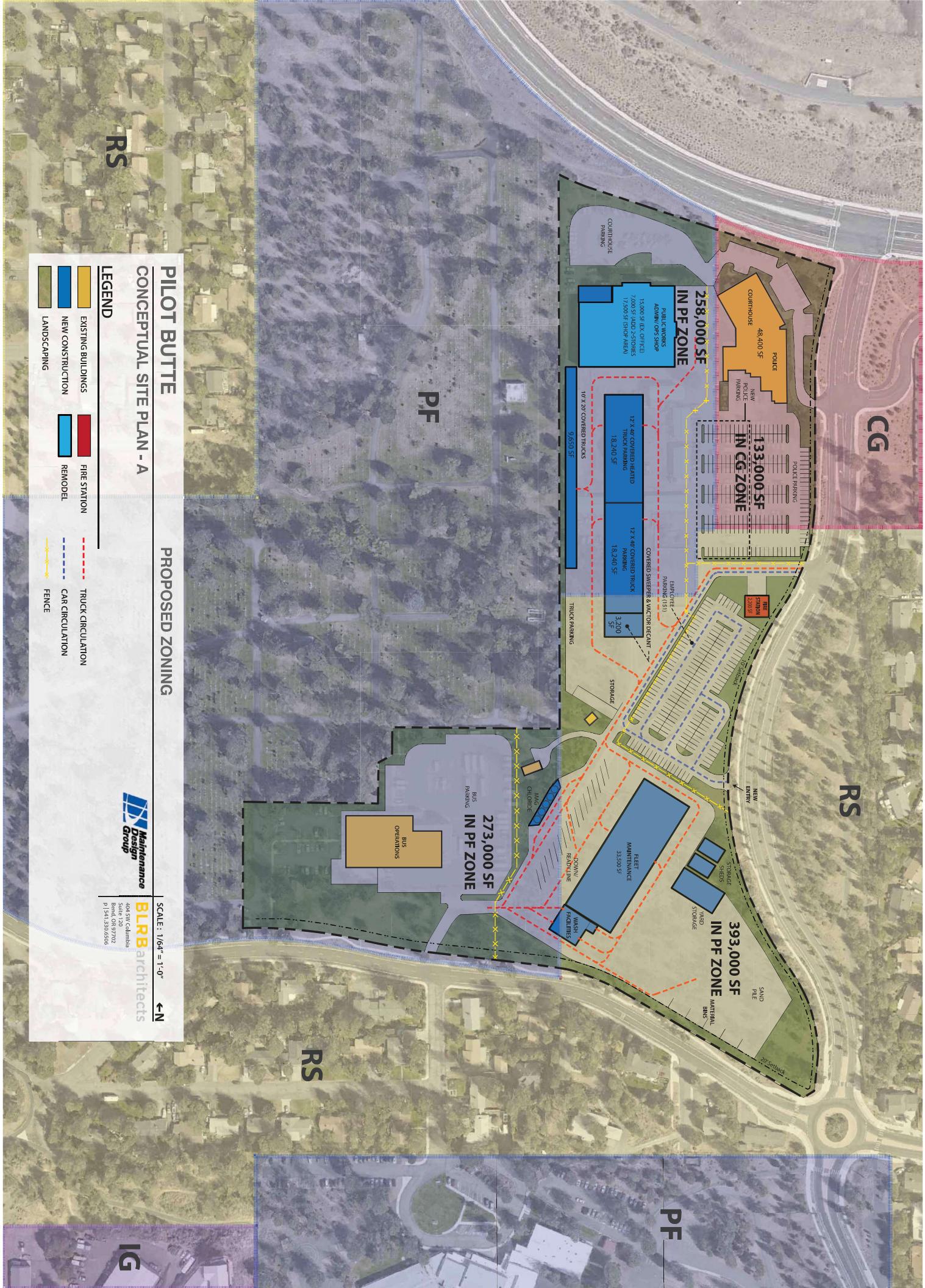
For comparison purposes, below are the costs of the Two current Juniper Ridge master plan concepts (See Section #2 of this report). Please note that the Juniper Ridge concepts will require major road and utility construction as there are no current roads or utilities servicing the sites for either of the concepts. The costs for these off-site requirements are not considered in the following Juniper Ridge concept cost estimates.

Juniper Ridge Master Plan – Concept #1 **\$62,959,003**

Juniper Ridge Master Plan – Concept #2 **\$63,584,134**

Below is a list of notable differences between the Juniper Ridge master plan concepts and the 2015 Pilot Butte and Boyd Acres concepts that play a role in the differences in costs of the older and current concepts.

- The Juniper Ridge concepts have only one consolidated vehicle wash facility, one consolidated fuel island and one consolidated yard/material bin area. The 2015 concept had one of each for the two sites.
- All buildings in the Juniper Ridge concepts are new construction. Several building in the 2015 concept are to be remodels of existing buildings.
- The Juniper Ridge concepts both require extensive cut and fill of the sites.



**CITY OF BEND PUBLIC WORKS MASTER PLANNING
2015 PILOT BUTTE SITE CONCEPT COST ESTIMATE REVISION**

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Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information
I - Fuel Island					
A Construction Costs					
General Site Work		80,000 SF	\$5	\$400,000	
Decommissioning Ex Fuel Area		1 LS	\$80,000	\$80,000	
Site Fencing		3,500 LF	\$25	\$87,500 Plus access gates	
Fuel Island		1 LS	\$800,000	\$800,000	
A1				\$1,367,500	
A2	Contingency	20%	Of Line A1	\$273,500	
A3	Escalation	18%	Of Line A1+A2	\$295,380	
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3	\$193,638	
A5	GC oh&p	5%	Of Line A1+A2+A3+A4	\$106,501	
A6				\$2,236,519	
B Soft Cost					
B1	A&E, permits, fees, inspections	20%	Of Line A1+A2+A3	\$387,276.00	
C Interior Costs (N/A)					
D Total Project Costs					
	Total Construction Costs	A6		\$2,236,519	
	Total Soft Costs	B1		\$387,276	
				\$2,623,795	
II - Site Grading/Paving/Fencing					
A Construction Costs					
General Site Work		650,000 SF	\$5	\$3,250,000	
Misc. Paving and Drainage		200,000 SF	\$3	\$600,000	
A1				\$3,850,000	
A2	Contingency	20%	Of Line A1	\$770,000	
A3	Escalation	18%	Of Line A1+A2	\$831,600	
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3	\$545,160	
A5	GC oh&p	5%	Of Line A1+A2+A3+A4	\$299,838	
A6				\$6,296,598	
B Soft Cost					
B1	A&E, permits, fees, inspections	20%	Of Line A1+A2+A3	\$1,090,320	
C Interior Costs (N/A)					
D Total Project Costs					
	Total Construction Costs	A6		\$6,296,598	
	Total Soft Costs	B1		\$1,090,320	
				\$7,386,918	

**CITY OF BEND PUBLIC WORKS MASTER PLANNING
2015 PILOT BUTTE SITE CONCEPT COST ESTIMATE REVISION**

BLRB architects

Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information			
III - Vehicle Storage/Parking								
A Construction Costs								
Covered Truck Parking Building #1	20' x 220'	4,400 SF	\$55	\$242,000	Open, some power			
Covered Truck Parking Building #2	20' x 220'	4,400 SF	\$55	\$242,000	Open, some power			
Heated Parking Building #1	40' x 220'	8,800 SF	\$90	\$792,000	36 14 w doors, power, heat			
Covered Parking Building #1	40' x 220'	8,800 SF	\$75	\$660,000				
Yard Area - Material Bin, Vector Dump		12,000 SF	\$10	\$120,000				
Mag Chloride Area	20' x 50'	1 LS	\$100,000	\$100,000	Ext. tanks, concrete pad			
Decant Facility	40' x 80'	3,200 SF	\$40	\$128,000				
Police Parking Lot Revised	200' x 340'	68,000 SF	\$6	\$408,000	Not included in Juniper Ridge Concepts			
Finish Site Work		400,000 SF	\$2	\$800,000	Paving, drainage, landscape			
A1	Total Building Costs			\$3,492,000				
A2	Contingency	20%	Of Line A1	\$698,400				
A3	Escalation	18%	Of Line A1+A2	\$754,272				
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3	\$494,467				
A5	GC oh&p	5%	Of Line A1+A2+A3+A4	\$271,957				
A6	Total Construction Costs			\$5,711,096				
B Soft Cost								
B1	A&E, permits, fees, inspections	25%	Of Line A1+A2+A3	\$1,236,168				
C Interior Costs (N/A)								
D Total Project Costs								
Total Construction Costs		A6		\$5,711,096				
Total Soft Costs		B1		\$1,236,168				
	Total Project Costs			\$6,947,264				
IV - Fleet Building								
A Construction Costs								
Fleet Maintenance Building	9	110' x 310'	36,300 SF	\$145	\$5,263,500			
Fleet Maintenance - FFE			36,300 SF	\$40	\$1,452,000			
Finish Site Work			150,000 SF	\$2	\$300,000			
Truck Wash	10		1 LS	\$450,000	Fencing, drainage, landscape			
A1	Total Building Costs			\$7,465,500				
A2	Contingency	20%	Of Line A1	\$1,493,100				
A3	Escalation	18%	Of Line A1+A2	\$1,612,548				
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3	\$1,057,115				
A5	GC oh&p	5%	Of Line A1+A2+A3+A4	\$581,413				
A6	Total Construction Costs			\$12,209,676				
B Soft Cost								
B1	A&E, permits, fees, inspections	25%	Of Line A1+A2+A3	\$2,642,787				
C Interior Costs								
C1	The 2015 cost estimate listed FF&E cost within construction components. See above	0%	Of Line A6	\$0	F,F,& E, 5% to 25% of total construction costs. Cost was shown as \$1,400,000 in 2015 study.			
D Total Project Costs								
Total Construction Costs		A6		\$12,209,676				
Total Soft Costs		B1		\$2,642,787				
Total Interior Costs		C1		\$0				
	Total Project Costs			\$14,852,463				

**CITY OF BEND PUBLIC WORKS MASTER PLANNING
2015 PILOT BUTTE SITE CONCEPT COST ESTIMATE REVISION**

BLRB architects

Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information		
V - Operation Building Remodel							
A Construction Costs							
Office Demo and Remodel		14,000 SF	\$85	\$1,190,000			
Shop Area Repurposing		16,000 SF	\$30	\$480,000			
Parking Lot Revised		120' x 280'	33,600 SF	\$6	\$201,600		
A1		Total Building Costs		\$1,871,600			
A2	Contingency	20%	Of Line A1	\$374,320			
A3	Escalation	18%	Of Line A1+A2	\$404,266			
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3	\$265,019			
A5	GC oh&p	5%	Of Line A1+A2+A3+A4	\$145,760			
A6		Total Construction Costs		\$3,060,964			
B Soft Cost							
B1	A&E, permits, fees, inspections	20%	Of Line A1+A2+A3	\$530,037			
C Interior Costs							
C1	None shown in 2015 cost estimate	15%	Of Line A6	\$459,145	F,F,& E, 5% to 25% of total construction costs		
D Total Project Costs							
	Total Construction Costs	A6		\$3,060,964			
	Total Soft Costs	B1		\$530,037			
	Total Interior Costs	C1		\$459,145			
		Total Project Costs		\$4,050,146			
VI - Relocate Sand Pile							
A Construction Costs							
	Sand Pile Yard Relocated	320' x 250'	80,000 SF	\$5	\$400,000 Concrete wall, asphalt		
	Misc.		1 LS		\$100,000		
A1		Total Building Costs		\$500,000			
A2	Contingency	20%	Of Line A1	\$100,000			
A3	Escalation	18%	Of Line A1+A2	\$108,000			
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3	\$70,800			
A5	GC oh&p	5%	Of Line A1+A2+A3+A4	\$38,940			
A6		Total Construction Costs		\$817,740			
B Soft Cost							
B1	A&E, permits, fees, inspections	20%	Of Line A1+A2+A3	\$141,600			
C Interior Costs (N/A)							
D Total Project Costs							
	Total Construction Costs	A6		\$817,740			
	Total Soft Costs	B1		\$141,600			
		Total Project Costs		\$959,340			

**CITY OF BEND PUBLIC WORKS MASTER PLANNING
2015 PILOT BUTTE SITE CONCEPT COST ESTIMATE REVISION**

BLRB architects

Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information
VI - Employee Parking					
A Construction Costs					
Employee Parking		180' x 250'	55,000 SF	\$10	\$550,000 New
Misc.			1 LS	\$100,000	\$100,000
A1					\$650,000
A2	Contingency	20%	Of Line A1		\$130,000
A3	Escalation	18%	Of Line A1+A2		\$140,400
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$92,040
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$50,622
A6					\$1,063,062
B Soft Cost					
B1	A&E, permits, fees, inspections	20%	Of Line A1+A2+A3		\$184,080
C Interior Costs					
D Total Project Costs					
Total Construction Costs		A6			\$1,063,062
Total Soft Costs		B1			\$184,080
					\$1,247,142
TOTAL CITY OF BEND PUBLIC WORKS COMPLEX				\$38,067,068	

**CITY OF BEND PUBLIC WORKS MASTER PLANNING
2015 BOYD ACRES SITE CONCEPT COST ESTIMATE REVISION**

BLRB architects

Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information		
I - Property Purchase							
A Construction Costs							
Property Purchase (\$1,100,000) already made		1	\$0	\$0			
A1	Total Building Costs			\$0			
A2	Contingency	15%	Of Line A1	\$0			
A3	Escalation	18%	Of Line A1+A2	\$0			
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3	\$0			
A5	GC oh&p	5%	Of Line A1+A2+A3+A4	\$0			
A6	Total Construction Costs			\$0			
B Soft Cost							
B1	A&E, permits, fees, inspections	15%	Of Line A1+A2+A3	\$0.00			
C Interior Costs (N/A)							
D Total Project Costs							
Total Construction Costs		A6		\$0			
Total Soft Costs		B1		\$0			
	Total Project Costs			\$0			
II - Site Development/Fuel Island							
A Construction Costs							
Employee Parking Lot		50,400 SF	\$12	\$604,800	Site Work, landscaping		
Truck Wash		1	\$425,000	\$425,000			
Site Development	500' x 220'	110,000 SF	\$7	\$770,000	Hardscape, Drainage		
Fuel Island		1	\$255,000	\$255,000			
A1	Total Building Costs			\$2,054,800			
A2	Contingency	20%	Of Line A1	\$410,960			
A3	Escalation	18%	Of Line A1+A2	\$443,837			
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3	\$290,960			
A5	GC oh&p	5%	Of Line A1+A2+A3+A4	\$160,028			
A6	Total Construction Costs			\$3,360,584			
B Soft Cost							
B1	A&E, permits, fees, inspections	25%	Of Line A1+A2+A3	\$727,399			
C Interior Costs (N/A)							
D Total Project Costs							
Total Construction Costs		A6		\$3,360,584			
Total Soft Costs		B1		\$727,399			
	Total Project Costs			\$4,087,984			

**CITY OF BEND PUBLIC WORKS MASTER PLANNING
2015 BOYD ACRES SITE CONCEPT COST ESTIMATE REVISION**

BLRB architects

Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information		
III - Operations Remodel							
A Construction Costs							
Interior Remodel, Covered Walk		30' x 240'	8,640 SF	\$75	\$648,000		
A1		Total Building Costs			\$648,000		
A2	Contingency	12%	Of Line A1		\$77,760		
A3	Escalation	18%	Of Line A1+A2		\$130,637		
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$85,640		
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$47,102		
A6		Total Construction Costs			\$989,138		
B Soft Cost							
B1	A&E, permits, fees, inspections	25%	Of Line A1+A2+A3		\$214,099		
C Interior Costs (N/A)							
D Total Project Costs							
Total Construction Costs		A6			\$989,138		
Total Soft Costs		B1			\$214,099		
		Total Project Costs			\$1,203,238		
IV - New Administration Building							
A Construction Costs							
New Administration Building	9	60' x 100'	12,000 SF	\$200	\$2,400,000		
A1		Total Building Costs			\$2,400,000		
A2	Contingency	20%	Of Line A1		\$480,000		
A3	Escalation	18%	Of Line A1+A2		\$518,400		
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$339,840		
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$186,912		
A6		Total Construction Costs			\$3,925,152		
B Soft Cost							
B1	A&E, permits, fees, inspections	25%	Of Line A1+A2+A3		\$849,600		
C Interior Costs							
C1	Furniture, Fixtures, and Specialized Equipment (not shown in 2015 estimate)	15%	Of Line A6		\$588,773 F,F,& E, 5% to 25% of total construction costs. Cost was shown as \$1,400,000 in 2015 study.		
D Total Project Costs							
Total Construction Costs		A6			\$3,925,152		
Total Soft Costs		B1			\$849,600		
Total Interior Costs		C1			\$588,773		
		Total Project Costs			\$5,363,525		

**CITY OF BEND PUBLIC WORKS MASTER PLANNING
2015 BOYD ACRES SITE CONCEPT COST ESTIMATE REVISION**

BLRB architects

Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information		
V - Water Quality Lab							
A Construction Costs							
Existing Admin Building Remodeled into Water Quality Lab		72' x 140'	9,400 SF	\$90	\$846,000		
A1	Total Building Costs				\$846,000		
A2	Contingency	15%	Of Line A1		\$126,900		
A3	Escalation	18%	Of Line A1+A2		\$175,122		
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$114,802		
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$63,141		
A6	Total Construction Costs				\$1,325,965		
B Soft Cost							
B1	A&E, permits, fees, inspections	25%	Of Line A1+A2+A3		\$287,006		
C Interior Costs							
C1	Furniture, Fixtures, and Specialized Equipment (not shown in 2015 estimate)	15%	Of Line A6		\$198,895 F,F,& E, 5% to 25% of total construction costs		
D Total Project Costs							
	Total Construction Costs		A6		\$1,325,965		
	Total Soft Costs		B1		\$287,006		
	Total Interior Costs		C1		\$198,895		
	Total Project Costs				\$1,811,866		
VI - Warehouse/Covered Storage							
A Construction Costs							
Covered Vehicle - Open		72' x 140'	9,800 SF	\$90	\$882,000 Open metal building		
Covered Pipe Storage - Open		25' x 200'	5,000 SF	\$90	\$450,000 Open metal building		
Warehouse & Yard		80' x 100'	9,900 SF	\$110	\$1,089,000 Metal building, high bay		
A1	Total Building Costs				\$2,421,000		
A2	Contingency	20%	Of Line A1		\$484,200		
A3	Escalation	18%	Of Line A1+A2		\$522,936		
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$342,814		
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$188,547.48		
A6	Total Construction Costs				\$3,959,497		
B Soft Cost							
B1	A&E, permits, fees, inspections	25%	Of Line A1+A2+A3		\$857,034		
C Interior Costs							
D Total Project Costs							
	Total Construction Costs		A6		\$3,959,497		
	Total Soft Costs		B1		\$857,034		
	Total Project Costs				\$4,816,531		
TOTAL CITY OF BEND PUBLIC WORKS COMPLEX							
					\$17,283,143		