

CITY OF BEND PUBLIC WORKS

Master Planning Report

October 31st, 2018

BLRB architects

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Section One

Project Overview and Basis of Design

Introduction

BLRB Architects has been tasked with producing master plan options for two of the City's properties, one along Boyd Acres Road, the other in the Juniper Ridge area, based on the information gathered and plans created for the 2015 City of Bend Public Works Facility study. Below is a list of the departments being included in the new master plan.

- Right of Way (Street) Operations and Maintenance
- Facilities Division
- Fleet Maintenance
- Utilities
 - ✓ Utility Support Services
 - ✓ Environmental Services
 - ✓ Operations and Maintenance

Background

The City of Bend Public Works has realized their existing facilities and working conditions do not meet their standards. The City population is now over 90,000 and is expected to reach nearly 120,000 by 2030 and the City of Bend Public Works will require facilities which are capable of supporting their provided services.

Project Objectives

The focus of the study is to evaluate and determine if the departments listed above can be centrally located at one site to provide better facilities to increase operational efficiency and improved working environments. It is ideal to keep Right of Way, Facilities Division, and Fleet Maintenance together. Placing the Utilities department on the same site will help to reduce redundancy of program elements that would occur if the department is located on a separate site.

A secondary objective is to prepare two master plan options for the existing city-owned site along Boyd Acres Road. Both options will retain the existing buildings on the site and assume that the departments listed above will ultimately be placed on a new site located in the Juniper Ridge area.

Finally, the probable cost for moving the City of Bend Public Works departments will be provided.

Report Overview

This Programming Report consists of the following chapters:

Section One - Project Overview & Basis of Design

Describes the background and gives an overview of the project.

Describes Basis of design for both the Boyd Acres Road site and the Juniper Ridge proposed site(s).

A detailed listing of space requirements for each department included in this study is found in the 2015 City of Bend Public Works Facility study.

Section Two - Design Concepts and Opinion of Cost – Juniper Ridge

Presents site concept(s) and cost estimates for Juniper Ridge property.

Section Three - Design Concepts - Boyd Acres

Presents site concept(s) for Boyd Acres property.

Basis of Design

Juniper Ridge

The basis of design for the Juniper Ridge master plan concepts is included in the information found in Section #2 of the 2015 City of Bend Public Works Facility study. This information includes the function, staffing, parking and key planning issues for each of the departments to be located at the Juniper Ridge site. Site plan concepts from Sections #3 & #4 of the 2015 City of Bend Public Works Facility study were also utilized to inform the layouts of the new master plan concepts at Juniper Ridge.

Additionally, per a discussion with Utility Director, Paul Rheault and Street & Operations Director, David Abbas on 9/14/2018, the current Juniper Ridge site concepts show a consolidation and facilities sharing of similar program elements that were being duplicated on the Pilot Butte and Boyd Acres site concepts from 2015. This consolidation has resulted in the shared use of a single fuel island, vehicle wash facility, material bins/yard, warehouse building, shop building and administration building. The shop building and administration building shown on the current Juniper Ridge site concepts are sized to accommodate the required areas listed in the 2015 report. Further information gathering regarding the shop areas and administrative areas that can be consolidated will most likely result in a slight decrease in the overall areas of these buildings.

Boyd Acres

The basis of design for the Boyd Acres master plan concepts was given as instructions from the City of Bend. See Section #3 of this report.

Space Needs Program

The space needs program for each of the departments to be located at the Juniper Ridge site is found in Section #3 of the 2015 City of Bend Public Works Facility study. The area requirements for each space of each department is listed in that section.

Section Two

Design Concepts - Juniper Ridge

Opinion of Cost Introduction

The preliminary construction cost estimate was prepared by BLRB Architects based on similar recently constructed facilities in the area. The values were derived from current construction costs and discussions with local contractors and cost estimators. Please note that construction costs and cost escalation are uncharacteristically high in the Bend area at the time of this report's preparation.

Assumptions and Qualifications

The estimate has been prepared using accepted practices and it represents the Design Team's opinion of probable construction costs. It is intended to be a determination of fair market value for the project construction. It is not a prediction of low bid. Since the Design Team has no control over market conditions (such as surges in steel and cement prices) and other factors which may affect the bid prices, the Team cannot and does not warrant nor guarantee that bids or ultimate construction costs will not vary from the cost estimate.

Essential off-site services such as electrical, telephone, water, natural gas, storm drainage, and sanitary sewer systems have not been verified and associated off site utility upgrades are not included in the scope of this study or in the cost estimate.

The estimate includes the following:

- Foundations, superstructure, exterior closure, roofing, interior construction, interior finishes, mechanical, electrical, plumbing, and site work as included in documents referred to herein
- Subcontractor and general contractor mark ups
- Design Contingency
- Bonds, insurance, and mobilization
- Demolition
- Industrial Shop Equipment

The estimate specifically excludes the following:

- Removal of toxic hazardous materials (if any)
- Real Estate/Right-of-Way Acquisition
- Legal and finance fees
- Owner's administration costs

It is assumed that the above items, if needed, are included elsewhere in the owner's overall project budget.

The estimate is based on all work to be performed during regular working hours. No premium allowance is included for overtime, working at nights or weekends.

Items potentially affecting the cost estimate:

- Modifications to the scope of work included in this estimate
- Unforeseen sub-surface conditions
- Restrictive technical specifications or excessive contract conditions
- Any specified item of equipment, material, or product that cannot be obtained from at least three different sources
- Any other non-competitive bid situations

Materials and Quality of Construction

It is anticipated that City of Bend desires quality materials that are durable for new construction. Funding priorities rarely allow replacement for these types of facilities in less than a 30 to 40-year cycle. Inexpensive materials such as corrugated steel siding and wood construction have a service life of no more than 20 years. Inexpensive systems also cost more to maintain and operate.

Soft Costs

Soft Costs are included in the Opinion of Probable Cost to ensure that there are adequate available funds to cover the costs of necessary contingencies, project construction management, permitting, insurance, materials testing, design services, surveying, and other miscellaneous items. These soft costs are figured as a percentage of the total construction cost and have likewise been based on historical data from other projects of similar characteristics.

Phased Construction Schedule

Phased schedule is not currently being accounted for.

Escalation Costs

A 6% escalation of costs is being included assuming all construction will commence approximately one year from the date of this report. The cost escalation percentage for individual portions of the near-term phasing plan may need to be revised if those portions of work are to be phased.

Opinion of Probable Cost

See cost summary tables following the design concept exhibits for Juniper Ridge, Option #1 and Option #2. Cost summaries were not requested for the Boyd Acres concept options. Please note that the estimates have been based on preliminary and limited information and only serve as general guidelines for more specific and detailed studies in the future. Updated estimates should be prepared when more specific and detailed design information is available.

Please note that there are a few aspects of project costs shown in the new cost summaries for the Juniper Ridge options that were not listed out in the original 2015 cost summaries for the Pilot Butte and Boyd Acres sites. These include:

- General Conditions, Insurance, Bonds – Typically 10% of (construction cost + contingency + escalation)
- General Contractor Overhead & Profit – Typically 5% of (construction cost + contingency + escalation + general conditions)
- Interior Costs, Furniture, Fixtures & Equipment (FF&E) – Typically 5% to 25% of total construction cost (shown as specialty equipment in 2015 cost summaries where applicable)

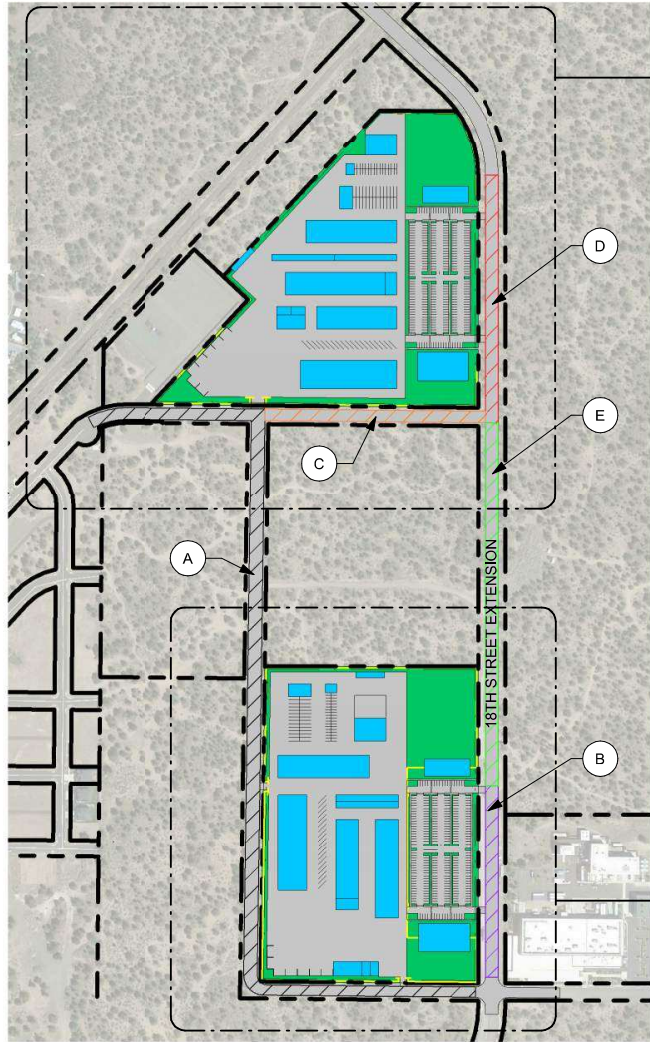
These aspects of project costs are shown in the attached cost summaries in order to conform with typical cost summary standards used by cost estimation consultants. Their inclusion is meant to make the cost summaries more accurate and to provide the City of Bend a more itemized accounting of the costs related to the Juniper Ridge project.

Conclusion

The Opinion of Probable Cost presented in this section for the renovations and new construction will assist the City of Bend to make strategic decisions about funding the different phases of the project. It is by no means a final cost and is intended to be a flexible document with heavy contingency that will represent changing information based on City of Bend and the Design Team's decisions throughout the planning process. If the City is able to get larger portions of funding, some of the construction phasing may be combined to reduce the amount of time for construction.

Vicinity Map & Reference Site Plan (Exhibit A1.0)

This exhibit shows the context of the proposed sites (Option #1 & Option #2) and information about new road construction required for access to those sites.



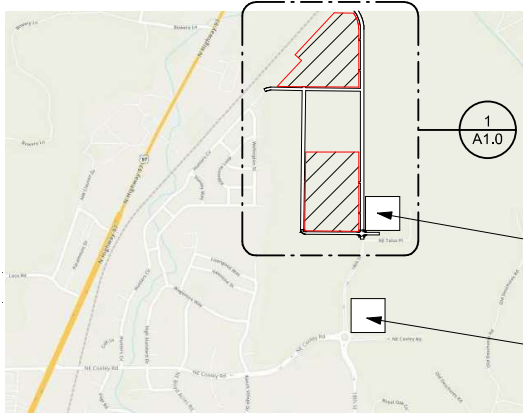
1
A1.2
OPTION #2

LEGEND - ROAD OPTIONS

- A. **PHASE 1**
(ROAD TO BE ADDED TO PROVIDE ACCESS TO SOLD PARCEL)
60' ROW - INDUSTRIAL LOCAL
CURB-TO-CURB WIDTH = 40'
LENGTH = 3,400 FT X \$379/LF = **\$1,288,600**
- B. **PHASE 2A**
(ROAD TO BE ADDED IF SOUTH SITE IS CHOSEN)
100' ROW - ARTERIAL
CURB-TO-CURB WIDTH = 76'
LENGTH = 678 FT X \$974/SF = **\$660,372**
- C. **PHASE 2B**
(ROAD TO BE ADDED IF NORTH SITE IS CHOSEN)
60' ROW - INDUSTRIAL LOCAL
CURB-TO-CURB WIDTH = 40'
LENGTH = 740 FT X \$379/LF = **\$280,460**
- D. **PHASE 2B**
(ROAD TO BE ADDED IF NORTH SITE IS CHOSEN)
100' ROW - ARTERIAL
CURB-TO-CURB WIDTH = 76'
LENGTH = 1,000 FT X \$974/SF = **\$974,000**
- E. **PHASE 3**
(ROAD TO BE ADDED TO PROVIDE CONNECTION FROM 18TH STREET)
100' ROW - ARTERIAL
CURB-TO-CURB WIDTH = 76'
LENGTH = 1,286 FT X \$974/SF = **\$1,252,564**

1
A1.1
OPTION #1

1 SITE PLAN - REFERENCE
1" = 400'-0"



1
A1.0

2 VICINITY MAP
NOT TO SCALE

BLRB architects 404 SW Columbia, Suite 120, // Bend, OR, 97702 P: 541.330.6506 // www.BLRB.com	Project:	CITY OF BEND MASTER PLAN JUNIPER RIDGE	Date:	10/15/18	Reference Sheet No.
	Drawing Title:	CITY OF BEND			A1.0
		REFERENCE SITE PLAN			

Option #1 (Exhibit A1.1 & C1.1)

BLRB was asked by the City of Bend to produce master plan Option #1 as described below:

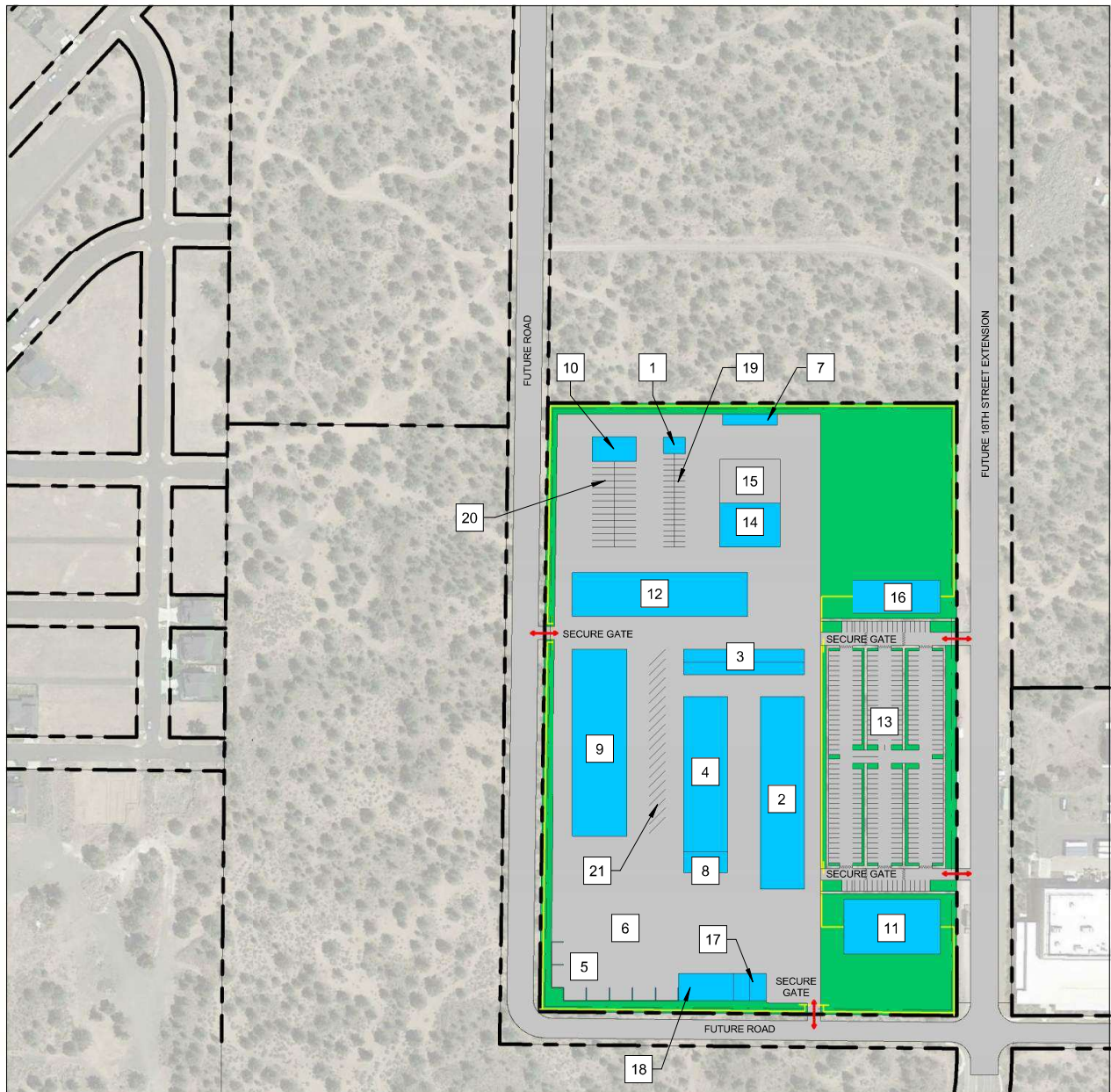
Develop master plan on City of Bend-owned Juniper Ridge property just West of the existing Suterra site. Combine the program elements from the 2015 City of Bend Public Works Facilities Study Pilot Butte & Boyd Acres Sites. Base the master plan design on the documented information and plan diagrams from that study.

2.5 Option 1: South Site

A1.1 Site Plan

C1.1 Civil Conceptual Grading Plan

Cost Estimate



1 SITE PLAN - OPTION #1
1" = 200'-0"



INDUSTRIAL ZONE REQUIREMENTS

MIN. FRONT YARD SETBACK: 10 FT
MIN. BACK/SIDE YARD SETBACK: NONE
MAX. LOT COVERAGE: 80%
MAX. BUILDING HEIGHT: 50 FT
MIN. LANDSCAPE COVER: 15%
(75% OF 15% REQUIREMENT SHALL BE LOCATED WITHIN FRONT YARD SETBACKS AND PARKING AREA OR OTHER AREAS VISIBLE TO THE PUBLIC)

PROPOSED LOT

LOT AREA (849,474 SF): 19.5 AC
LOT COVERAGE (173,000 SF): 20.3%
LANDSCAPE COVERAGE (192,605 SF): 22.7%

LEGEND

1. FUEL ISLAND (1,200 SF) (CONSOLIDATED FROM 2015 PILOT BUTTE & BOYD ACRES MASTER PLANS)
2. OPEN COVERED VEHICLE PARKING (28,240 SF)
3. OPEN COVERED SMALL TRUCK PARKING (10,120 SF)
4. HEATED TRUCK PARKING BUILDING (22,640 SF)
5. YARD AREA - MATERIAL BINS, VACTOR DUMP (12,600 SF) (CONSOLIDATED FROM 2015 PILOT BUTTE & BOYD ACRES MASTER PLANS)
6. SAND PILE
7. MAG CHLORIDE AREA
8. COVERED SWEEPER / DECANT FACILITY (3,200 SF)
9. FLEET BUILDING (35,000 SF)
10. TRUCK WASH (3,600 SF) (CONSOLIDATED FROM 2015 PILOT BUTTE & BOYD ACRES MASTER PLANS)
11. ADMINISTRATION BUILDING (36,000 SF, 2-STORY) (CONSOLIDATED FROM 2015 PILOT BUTTE & BOYD ACRES MASTER PLANS)
12. SHOP / REPAIR BUILDING (25,600 SF) (CONSOLIDATED FROM 2015 PILOT BUTTE & BOYD ACRES MASTER PLANS)
13. EMPLOYEE / VISITOR PARKING (93,000 SF)
14. WAREHOUSE BUILDING (10,000 SF)
15. WAREHOUSE STORAGE YARD (8,800 SF)
16. WATER LAB BUILDING (9,400 SF)
17. (2) STORAGE SHEDS (3,000 SF)
18. YARD STORAGE (5,000 SF)
19. TRUCK PARKING - (30-34) 10'X20' SPACES
20. TRUCK / EQUIPMENT PARKING - (26) 12'X40' SPACES
21. DOWN / READY LINE

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Project: CITY OF BEND MASTER PLAN JUNIPER RIDGE

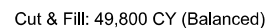
CITY OF BEND

Drawing Title: JUNIPER RIDGE - OPTION #1

Date: 10/26/18

Reference Sheet No.

A1.1



**CITY OF BEND PUBLIC WORK MASTER PLANNING
OPTION #1 COST R.O.M.**

	Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information
Fuel Island						
A	Construction Costs					
	Fuel Island	1	1	\$872,000	\$872,000	9% inflation from 2015 cost of \$800,000
A1	Total Building Costs				\$872,000	
A2	Contingency	15%	Of Line A1		\$130,800	
A3	Escalation	6%	Of Line A1+A2		\$60,168	
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$106,297	
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$58,463	
A6	Total Construction Costs				\$1,227,728	
B	Soft Cost					
B1	A&E, permits, fees, inspections	15%	Of Line A1+A2+A3		\$159,445.20	
C	Interior Costs (N/A)					
D	Total Project Costs					
	Total Construction Costs		A6		\$1,227,728	
	Total Soft Costs		B1		\$159,445	
	Total Project Costs				\$1,387,173	
Site Grading/Paving/Fencing						
A	Construction Costs					
	General Site Work		849,474 SF	\$5	\$4,247,370	
	Cut & Fill (Balanced)		49,800 CY	\$20	\$996,000	
	Misc. Paving and Drainage		377,403 SF	\$3	\$1,132,209	
	Employee/Visitor Parking	13	93,000 SF	\$10	\$930,000	
	Site Fencing		3,789 LF	\$25	\$94,725	
	Secure Gate		4	\$25,000	\$100,000	
A1	Total Building Costs				\$7,500,304	
A2	Contingency	20%	Of Line A1		\$1,500,061	
A3	Escalation	6%	Of Line A1+A2		\$540,022	
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$954,039	
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$524,721	
A6	Total Construction Costs				\$11,019,147	
B	Soft Cost					
B1	A&E, permits, fees, inspections	15%	Of Line A1+A2+A3		\$1,431,058	
C	Interior Costs (N/A)					
D	Total Project Costs					
	Total Construction Costs		A6		\$11,019,147	
	Total Soft Costs		B1		\$1,431,058	
	Total Project Costs				\$12,450,205	

**CITY OF BEND PUBLIC WORK MASTER PLANNING
OPTION #1 COST R.O.M.**

	Area	Drw. Ref.		Qty.	Cost Per	Total	Additional Information
Vehicle Storage/Parking							
A	Construction Costs						
	Open, Covered Parking Bldg.	2	80' x 353'	28,240	SF	\$75	\$2,118,000 Open, some power
	Open, Covered Small Truck Parking Bldg.	3	23' x 440'	10,120	SF	\$60	\$607,200 Open, some power
	Heated Parking Bldg.	4	80' x 283'	22,640	SF	\$90	\$2,037,600 36 14' w doors, power, heat
	Yard Area - Material Bin, Vactor Dump	5		12,000	SF	\$10	\$120,000
	Mag Chloride Area	7	20' x 50'	1		\$109,000	\$109,000 Ext. tanks, concrete pad; 9% inflation from 2015 cost of \$100,000
	Covered Sweeper / Decant Facility	8	40' x 80'	3,200	SF	\$40	\$128,000 New asphalt-paved parking / drive aisles with required drainage.
A1	Total Building Costs					\$5,119,800	
A2	Contingency		20%	Of Line A1		\$1,023,960	
A3	Escalation		6%	Of Line A1+A2		\$368,626	
A4	General Conditions, insurance, bond		10%	Of Line A1+A2+A3		\$651,239	
A5	GC oh&p		5%	Of Line A1+A2+A3+A4		\$358,181	
A6	Total Construction Costs					\$7,521,805	
B	Soft Cost						
B1	A&E, permits, fees, inspections		20%	Of Line A1+A2+A3		\$1,302,477	
C	Interior Costs						
C1	Furniture, Fixtures and movable equipment		0%	Of Line A6		\$0 F,F,& E, 5% to 25% of total construction costs	
D	Total Project Costs						
	Total Construction Costs			A6		\$7,521,805	
	Total Soft Costs			B1		\$1,302,477	
	Total Interior Costs			C1		\$0	
	Total Project Costs					\$8,824,282	
Fleet Building							
A	Construction Costs						
	Fleet Maintenance Building	9	100' x 350'	35,000	SF	\$145	\$5,075,000
	Truck Wash	10		1		\$490,500	\$490,500 Drainage; 9% inflation from 2015 cost of \$450,000
A1	Total Building Costs					\$5,565,500	
A2	Contingency		20%	Of Line A1		\$1,113,100	
A3	Escalation		6%	Of Line A1+A2		\$400,716	
A4	General Conditions, insurance, bond		10%	Of Line A1+A2+A3		\$707,932	
A5	GC oh&p		5%	Of Line A1+A2+A3+A4		\$389,362	
A6	Total Construction Costs					\$8,176,610	
B	Soft Cost						
B1	A&E, permits, fees, inspections		20%	Of Line A1+A2+A3		\$1,415,863	
C	Interior Costs						
C1	Furniture, Fixtures, Lifts and Specialized Equipment		18%	Of Line A6		\$1,471,790 F,F,& E, 5% to 25% of total construction costs. Cost was shown as \$1,400,000 in 2015 study.	
D	Total Project Costs						
	Total Construction Costs			A6		\$8,176,610	
	Total Soft Costs			B1		\$1,415,863	
	Total Interior Costs			C1		\$1,471,790	
	Total Project Costs					\$11,064,263	

**CITY OF BEND PUBLIC WORK MASTER PLANNING
OPTION #1 COST R.O.M.**

	Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information
Administration Building						
A	Construction Costs					
	ROW Operations and Maintenance	11	14,200 SF	\$200	\$2,840,000	
	Facilities Division	11	1,100 SF	\$200	\$220,000	
	Utilities	11	11,200 SF	\$200	\$2,240,000	
	Utilities Operations	11	5,400 SF	\$200	\$1,080,000	
A1	Total Building Costs				\$6,380,000	
A2	Contingency	20%	Of Line A1		\$1,276,000	
A3	Escalation	6%	Of Line A1+A2		\$459,360	
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$811,536	
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$446,345	
A6	Total Construction Costs				\$9,373,241	
B	Soft Cost					
B1	A&E, permits, fees, inspections	25%	Of Line A1+A2+A3		\$2,028,840	
C	Interior Costs					
C1	Furniture, Fixtures and movable equipment	10%	Of Line A6		\$937,324	F,F,& E, 5% to 25% of total construction costs
D	Total Project Costs					
	Total Construction Costs		A6		\$9,373,241	
	Total Soft Costs		B1		\$2,028,840	
	Total Interior Costs		C1		\$937,324	
	Total Project Costs				\$12,339,405	
Shop Building						
A	Construction Costs					
	ROW Operations and Maintenance	12	17,000 SF	\$150	\$2,550,000	
	Facilities Division	12	5,000 SF	\$150	\$750,000	
	Utilities	12	3,300 SF	\$150	\$495,000	
A1	Total Building Costs				\$3,795,000	
A2	Contingency	15%	Of Line A1		\$569,250	
A3	Escalation	6%	Of Line A1+A2		\$261,855	
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$462,611	
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$254,436	
A6	Total Construction Costs				\$5,343,151	
B	Soft Cost					
B1	A&E, permits, fees, inspections	20%	Of Line A1+A2+A3		\$925,221	
C	Interior Costs					
C1	Furniture, Fixtures and Specialized Equipment	18%	Of Line A6		\$961,767	F,F,& E, 5% to 25% of total construction costs
D	Total Project Costs					
	Total Construction Costs		A6		\$5,343,151	
	Total Soft Costs		B1		\$925,221	
	Total Interior Costs		C1		\$961,767	
	Total Project Costs				\$7,230,140	

**CITY OF BEND PUBLIC WORK MASTER PLANNING
OPTION #1 COST R.O.M.**

	Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information
Warehouse/Covered Storage						
A	Construction Costs					
A1	Warehouse	14	80' x 100'	9,900 SF	\$110	\$1,089,000
	Covered Pipe Storage, Open		25' x 200'	5,000 sf	\$50	\$250,000 Exterior, covered racks
	Total Building Costs				\$1,339,000	
	Contingency		15%	Of Line A1		\$200,850
A3	Escalation		6%	Of Line A1+A2		\$92,391
A4	General Conditions, insurance, bond		10%	Of Line A1+A2+A3		\$163,224
A5	GC oh&p		5%	Of Line A1+A2+A3+A4		\$89,773
A6	Total Construction Costs				\$1,885,238	
B	Soft Cost					
B1	A&E, permits, fees, inspections		20%	Of Line A1+A2+A3		\$326,448
C	Interior Costs					
C1	Furniture, Fixtures and movable equipment		0%	Of Line A6		\$0 F,F,& E, 5% to 25% of total construction costs
D	Total Project Costs					
	Total Construction Costs			A6	\$1,885,238	
	Total Soft Costs			B1	\$326,448	
	Total Interior Costs			C1	\$0	
	Total Project Costs				\$2,211,687	
Water Lab Building						
A	Construction Costs					
A1	Water Lab	16	76' x 60	4,560 SF	\$250	\$1,140,000 Lab Space, Special Ventilation
	Offices	16	76' x 60	4,560 SF	\$200	\$912,000 Exterior, covered racks
	Total Building Costs				\$2,052,000	
	Contingency		20%	Of Line A1		\$410,400
A3	Escalation		6%	Of Line A1+A2		\$147,744
A4	General Conditions, insurance, bond		10%	Of Line A1+A2+A3		\$261,014
A5	GC oh&p		5%	Of Line A1+A2+A3+A4		\$143,558
A6	Total Construction Costs				\$3,014,716	
B	Soft Cost					
B1	A&E, permits, fees, inspections		25%	Of Line A1+A2+A3		\$652,536
C	Interior Costs					
C1	Furniture, Fixtures and movable equipment		10%	Of Line A6		\$301,472 F,F,& E, 5% to 25% of total construction costs
D	Total Project Costs					
	Total Construction Costs			A6	\$3,014,716	
	Total Soft Costs			B1	\$652,536	
	Total Interior Costs			C1	\$301,472	
	Total Project Costs				\$3,968,724	

**CITY OF BEND PUBLIC WORK MASTER PLANNING
OPTION #1 COST R.O.M.**

Area		Drw. Ref.	Qty.		Cost Per	Total	Additional Information
Roadway (off-site)							
A	Construction Costs						
	60' Right-of-Way (40' curb-to-curb)	A	40' x 3,400	3,400	SF	\$379	\$1,288,600
	100' Right-of-Way (76' curb-to-curb)	B	76' x 678	678	SF	\$974	\$660,372
A1	Total Building Costs						\$1,948,972
A2	Contingency		20%	Of Line A1		\$389,794	
A3	Escalation		6%	Of Line A1+A2		\$140,326	
A4	General Conditions, insurance, bond		10%	Of Line A1+A2+A3		\$247,909	
A5	GC oh&p		5%	Of Line A1+A2+A3+A4		\$136,350	
A6	Total Construction Costs						\$2,863,352
B	Soft Cost						
B1	A&E, permits, fees, inspections		25%	Of Line A1+A2+A3		\$619,773	
C	Interior Costs (N/A)						
D	Total Project Costs						
	Total Construction Costs			A6		\$2,863,352	
	Total Soft Costs			B1		\$619,773	
	Total Project Costs						\$3,483,125
TOTAL CITY OF BEND PUBLIC WORKS COMPLEX						\$62,959,003	

Option #2 (Exhibit A1.2 & C1.2)

BLRB was asked by the City of Bend to produce master plan Option #2 as described below:

Develop master plan on City of Bend-owned Juniper Ridge property just South of the existing Railroad line and East of the existing power substation. Combine the program elements from the 2015 City of Bend Public Works Facilities Study Pilot Butte & Boyd Acres Sites. Base the master plan design on the documented information and plan diagrams from that study.

2.6 Option 2: North Site

A1.2 Site Plan

C1.2 Civil Conceptual Grading Plan

Cost Estimate



1 SITE PLAN - OPTION 2
1" = 200'-0"



LEGEND

INDUSTRIAL ZONE REQUIREMENTS

MIN. FRONT YARD SETBACK: 10 FT
MIN. BACK/SIDE YARD SETBACK: NONE
MAX. LOT COVERAGE: 80%
MAX. BUILDING HEIGHT: 50 FT
MIN. LANDSCAPE COVER: 15%
(75% OF 15% REQUIREMENT SHALL BE LOCATED WITHIN FRONT YARD SETBACKS AND PARKING AREA OR OTHER AREAS VISIBLE TO THE PUBLIC)

PROPOSED LOT

LOT AREA (801,344 SF): 18.4 AC
LOT COVERAGE (173,000 SF): 21.6%
LANDSCAPE COVERAGE (204,421 SF): 25.5%

1. FUEL ISLAND (1,200 SF) (CONSOLIDATED FROM 2015 PILOT BUTTE & BOYD ACRES MASTER PLANS)
2. OPEN COVERED VEHICLE PARKING (28,240 SF)
3. OPEN COVERED SMALL TRUCK PARKING (10,120 SF)
4. HEATED TRUCK PARKING BUILDING (22,640 SF)
5. YARD AREA - MATERIAL BINS, VACTOR DUMP (12,600 SF) (CONSOLIDATED FROM 2015 PILOT BUTTE & BOYD ACRES MASTER PLANS)
6. SAND PILE
7. MAG CHLORIDE AREA
8. COVERED SWEEPER / DECANT FACILITY (3,200 SF)
9. FLEET BUILDING (35,000 SF)
10. TRUCK WASH (3,600 SF) (CONSOLIDATED FROM 2015 PILOT BUTTE & BOYD ACRES MASTER PLANS)
11. ADMINISTRATION BUILDING (36,000 SF, 2-STORY) (CONSOLIDATED FROM 2015 PILOT BUTTE & BOYD ACRES MASTER PLANS)
12. SHOP / REPAIR BUILDING (25,600 SF) (CONSOLIDATED FROM 2015 PILOT BUTTE & BOYD ACRES MASTER PLANS)
13. EMPLOYEE / VISITOR PARKING (93,000 SF)
14. WAREHOUSE BUILDING (10,000 SF)
15. WAREHOUSE STORAGE YARD (8,800 SF)
16. WATER LAB BUILDING (9,400 SF)
17. (2) STORAGE SHEDS (3,000 SF)
18. YARD STORAGE (5,000 SF)
19. TRUCK PARKING - (30-34) 10'X20' SPACES
20. TRUCK / EQUIPMENT PARKING - (26) 12'X40' SPACES
21. DOWN / READY LINE

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Project: CITY OF BEND MASTER PLAN JUNIPER RIDGE

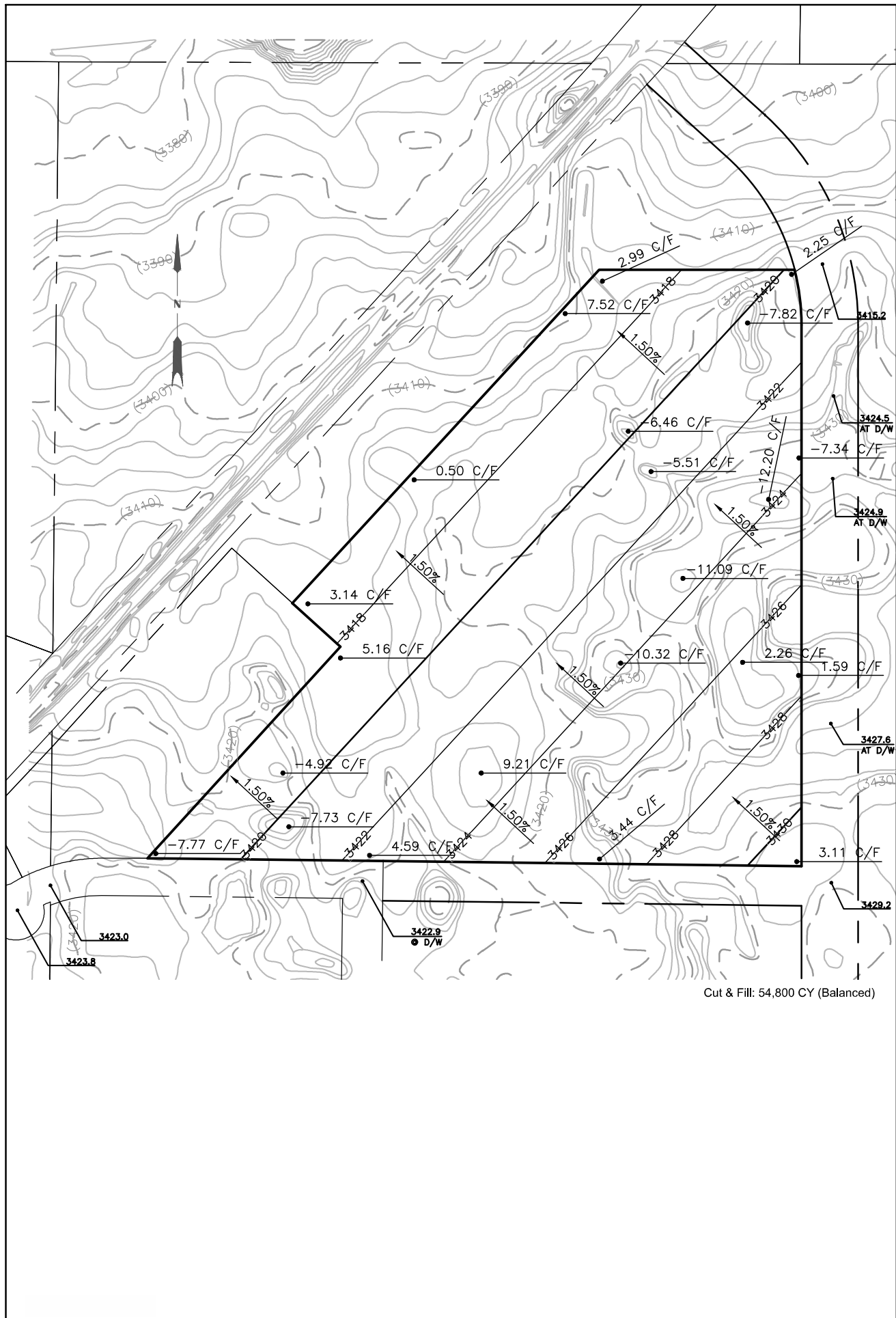
CITY OF BEND

Drawing Title: JUNIPER RIDGE - OPTION #2

Date: 10/26/18

Reference Sheet No.

A1.2



Cut & Fill: 54,800 CY (Balanced)

**CITY OF BEND PUBLIC WORK MASTER PLANNING
OPTION #2 COST R.O.M.**

	Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information
Fuel Island						
A	Construction Costs					
	Fuel Island	1	1	\$872,000	\$872,000	9% inflation from 2015 cost of \$800,000
A1	Total Building Costs				\$872,000	
A2	Contingency	15%	Of Line A1		\$130,800	
A3	Escalation	6%	Of Line A1+A2		\$60,168	
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$106,297	
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$58,463	
A6	Total Construction Costs				\$1,227,728	
B	Soft Cost					
B1	A&E, permits, fees, inspections	15%	Of Line A1+A2+A3		\$159,445.20	
C	Interior Costs (N/A)					
D	Total Project Costs					
	Total Construction Costs		A6		\$1,227,728	
	Total Soft Costs		B1		\$159,445	
	Total Project Costs				\$1,387,173	
Site Grading/Paving/Fencing						
A	Construction Costs					
	General Site Work		801,344 SF	\$5	\$4,006,720	
	Cut & Fill (Balanced)		54,800 CY	\$20	\$1,096,000	
	Misc. Paving and Drainage		344,122 SF	\$3	\$1,032,366	
	Employee/Visitor Parking	13	93,000 SF	\$10	\$930,000	
	Site Fencing		3,888 LF	\$25	\$97,200	
	Secure Gate		3	\$25,000	\$75,000	
A1	Total Building Costs				\$7,237,286	
A2	Contingency	20%	Of Line A1		\$1,447,457	
A3	Escalation	6%	Of Line A1+A2		\$521,085	
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$920,583	
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$506,321	
A6	Total Construction Costs				\$10,632,731	
B	Soft Cost					
B1	A&E, permits, fees, inspections	15%	Of Line A1+A2+A3		\$1,380,874	
C	Interior Costs (N/A)					
D	Total Project Costs					
	Total Construction Costs		A6		\$10,632,731	
	Total Soft Costs		B1		\$1,380,874	
	Total Project Costs				\$12,013,605	

**CITY OF BEND PUBLIC WORK MASTER PLANNING
OPTION #2 COST R.O.M.**

	Area	Drw. Ref.		Qty.	Cost Per	Total	Additional Information
Vehicle Storage/Parking							
A	Construction Costs						
	Open, Covered Parking Bldg.	2	80' x 353'	28,240	SF	\$75	\$2,118,000 Open, some power
	Open, Covered Small Truck Parking Bldg.	3	23' x 440'	10,120	SF	\$60	\$607,200 Open, some power
	Heated Parking Bldg.	4	80' x 283'	22,640	SF	\$90	\$2,037,600 36 14' w doors, power, heat
	Yard Area - Material Bin, Vactor Dump	5		12,000	SF	\$10	\$120,000
	Mag Chloride Area	7	20' x 50'	1		\$109,000	\$109,000 Ext. tanks, concrete pad; 9% inflation from 2015 cost of \$100,000
	Covered Sweeper / Decant Facility	8	40' x 80'	3,200	SF	\$40	\$128,000 New asphalt-paved parking / drive aisles with required drainage.
A1	Total Building Costs					\$5,119,800	
A2	Contingency		20%	Of Line A1		\$1,023,960	
A3	Escalation		6%	Of Line A1+A2		\$368,626	
A4	General Conditions, insurance, bond		10%	Of Line A1+A2+A3		\$651,239	
A5	GC oh&p		5%	Of Line A1+A2+A3+A4		\$358,181	
A6	Total Construction Costs					\$7,521,805	
B	Soft Cost						
B1	A&E, permits, fees, inspections		20%	Of Line A1+A2+A3		\$1,302,477	
C	Interior Costs						
C1	Furniture, Fixtures and movable equipment		0%	Of Line A6		\$0 F,F,& E, 5% to 25% of total construction costs	
D	Total Project Costs						
	Total Construction Costs			A6		\$7,521,805	
	Total Soft Costs			B1		\$1,302,477	
	Total Interior Costs			C1		\$0	
	Total Project Costs					\$8,824,282	
Fleet Building							
A	Construction Costs						
	Fleet Maintenance Building	9	100' x 350'	35,000	SF	\$145	\$5,075,000
	Truck Wash	10		1		\$490,500	\$490,500 Drainage; 9% inflation from 2015 cost of \$450,000
A1	Total Building Costs					\$5,565,500	
A2	Contingency		20%	Of Line A1		\$1,113,100	
A3	Escalation		6%	Of Line A1+A2		\$400,716	
A4	General Conditions, insurance, bond		10%	Of Line A1+A2+A3		\$707,932	
A5	GC oh&p		5%	Of Line A1+A2+A3+A4		\$389,362	
A6	Total Construction Costs					\$8,176,610	
B	Soft Cost						
B1	A&E, permits, fees, inspections		20%	Of Line A1+A2+A3		\$1,415,863	
C	Interior Costs						
C1	Furniture, Fixtures, Lifts and Specialized Equipment		18%	Of Line A6		\$1,471,790 F,F,& E, 5% to 25% of total construction costs. Cost was shown as \$1,400,000 in 2015 study.	
D	Total Project Costs						
	Total Construction Costs			A6		\$8,176,610	
	Total Soft Costs			B1		\$1,415,863	
	Total Interior Costs			C1		\$1,471,790	
	Total Project Costs					\$11,064,263	

**CITY OF BEND PUBLIC WORK MASTER PLANNING
OPTION #2 COST R.O.M.**

	Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information
Administration Building						
A	Construction Costs					
	ROW Operations and Maintenance	11	14,200	SF	\$200	\$2,840,000
	Facilities Division	11	1,100	SF	\$200	\$220,000
	Utilities	11	11,200	SF	\$200	\$2,240,000
	Utilities Operations	11	5,400	SF	\$200	\$1,080,000
A1	Total Building Costs				\$6,380,000	
A2	Contingency	20%	Of Line A1		\$1,276,000	
A3	Escalation	6%	Of Line A1+A2		\$459,360	
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$811,536	
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$446,345	
A6	Total Construction Costs				\$9,373,241	
B	Soft Cost					
B1	A&E, permits, fees, inspections	25%	Of Line A1+A2+A3		\$2,028,840	
C	Interior Costs					
C1	Furniture, Fixtures and movable equipment	10%	Of Line A6		\$937,324 F,F,& E, 5% to 25% of total construction costs	
D	Total Project Costs					
	Total Construction Costs		A6		\$9,373,241	
	Total Soft Costs		B1		\$2,028,840	
	Total Interior Costs		C1		\$937,324	
	Total Project Costs				\$12,339,405	
Shop Building						
A	Construction Costs					
	ROW Operations and Maintenance	12	17,000	SF	\$150	\$2,550,000
	Facilities Division	12	5,000	SF	\$150	\$750,000
	Utilities	12	3,300	SF	\$150	\$495,000
A1	Total Building Costs				\$3,795,000	
A2	Contingency	15%	Of Line A1		\$569,250	
A3	Escalation	6%	Of Line A1+A2		\$261,855	
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$462,611	
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$254,436	
A6	Total Construction Costs				\$5,343,151	
B	Soft Cost					
B1	A&E, permits, fees, inspections	20%	Of Line A1+A2+A3		\$925,221	
C	Interior Costs					
C1	Furniture, Fixtures and Specialized Equipment	18%	Of Line A6		\$961,767 F,F,& E, 5% to 25% of total construction costs	
D	Total Project Costs					
	Total Construction Costs		A6		\$5,343,151	
	Total Soft Costs		B1		\$925,221	
	Total Interior Costs		C1		\$961,767	
	Total Project Costs				\$7,230,140	

**CITY OF BEND PUBLIC WORK MASTER PLANNING
OPTION #2 COST R.O.M.**

	Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information
Warehouse/Covered Storage						
A	Construction Costs					
A1	Warehouse	14	80' x 100'	9,900 SF	\$110	\$1,089,000
	Covered Pipe Storage, Open		25' x 200'	5,000 sf	\$50	\$250,000 Exterior, covered racks
	Total Building Costs				\$1,339,000	
	Contingency		15%	Of Line A1		\$200,850
A2	Escalation		6%	Of Line A1+A2		\$92,391
A3	General Conditions, insurance, bond		10%	Of Line A1+A2+A3		\$163,224
A4	GC oh&p		5%	Of Line A1+A2+A3+A4		\$89,773
A5	Total Construction Costs				\$1,885,238	
B	Soft Cost					
B1	A&E, permits, fees, inspections		20%	Of Line A1+A2+A3		\$326,448
C	Interior Costs					
C1	Furniture, Fixtures and movable equipment		0%	Of Line A6		\$0 F,F,& E, 5% to 25% of total construction costs
D	Total Project Costs					
	Total Construction Costs			A6	\$1,885,238	
	Total Soft Costs			B1	\$326,448	
	Total Interior Costs			C1	\$0	
	Total Project Costs				\$2,211,687	
Water Lab Building						
A	Construction Costs					
A1	Water Lab	16	76' x 60	4,560 SF	\$250	\$1,140,000 Lab Space, Special Ventilation
	Offices	16	76' x 60	4,560 SF	\$200	\$912,000 Exterior, covered racks
	Total Building Costs				\$2,052,000	
	Contingency		20%	Of Line A1		\$410,400
A2	Escalation		6%	Of Line A1+A2		\$147,744
A3	General Conditions, insurance, bond		10%	Of Line A1+A2+A3		\$261,014
A4	GC oh&p		5%	Of Line A1+A2+A3+A4		\$143,558
A5	Total Construction Costs				\$3,014,716	
A6						
B	Soft Cost					
B1	A&E, permits, fees, inspections		25%	Of Line A1+A2+A3		\$652,536
C	Interior Costs					
C1	Furniture, Fixtures and movable equipment		10%	Of Line A6		\$301,472 F,F,& E, 5% to 25% of total construction costs
D	Total Project Costs					
	Total Construction Costs			A6	\$3,014,716	
	Total Soft Costs			B1	\$652,536	
	Total Interior Costs			C1	\$301,472	
	Total Project Costs				\$3,968,724	

**CITY OF BEND PUBLIC WORK MASTER PLANNING
OPTION #2 COST R.O.M.**

	Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information
Roadway (off-site)						
A	Construction Costs					
	60' Right-of-Way (40' curb-to-curb)	A	40' x 3,400	3,400 SF	\$379	\$1,288,600
	60' Right-of-Way (40' curb-to-curb)	C	40' x 740	740 SF	\$379	\$280,460
	100' Right-of-Way (76' curb-to-curb)	D	76' x 678	1,000 SF	\$974	\$974,000
A1	Total Building Costs					\$2,543,060
A2	Contingency		20%	Of Line A1		\$508,612
A3	Escalation		6%	Of Line A1+A2		\$183,100
A4	General Conditions, insurance, bond		10%	Of Line A1+A2+A3		\$323,477
A5	GC oh&p		5%	Of Line A1+A2+A3+A4		\$177,912
A6	Total Construction Costs					\$3,736,162
B	Soft Cost					
B1	A&E, permits, fees, inspections		25%	Of Line A1+A2+A3		\$808,693
C	Interior Costs (N/A)					
D	Total Project Costs					
	Total Construction Costs		A6		\$3,736,162	
	Total Soft Costs		B1		\$808,693	
	Total Project Costs					\$4,544,855
TOTAL CITY OF BEND PUBLIC WORKS COMPLEX					\$63,584,134	

Section Three

Design Concepts – Boyd Acres

Boyd Acres Design Concepts

Option #1

BLRB was asked by the City of Bend to produce master plan Option #1 as described below:

Show new road to north of the entire site and provide single, large lot just north of the developed portion of the existing site.

Option #2

BLRB was asked by the City of Bend to produce master plan Option #2 as described below:

Show new road just north of the developed portion of the existing site. Partition the remaining portion of the site, north of the new road, into four equally sized properties.

1 SITE PLAN - OPTION #1
1" = 100'-0"



BLRB architects

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Project: CITY OF BEND MASTER PLAN BOYD ACRES

CITY OF BEND

Drawing Title:

SITE PLAN OPTION #1

Date: 10/15/18

Reference Sheet No.

A1.1

1 SITE PLAN - OPTION #2
1" = 100'-0"



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	Drawing Title:	CITY OF BEND SITE PLAN OPTION #2			A1.2

Section Four

2015 Concept References

2015 Conceptual Site Plans

The following exhibits show the site plan concepts for the Pilot Butte and Boyd Acres sites from the 2015 City of Bend Public Works Facilities Study.

Revised 2015 Cost Tables

The tables within this section are updated versions of the original 2015 Pilot Butte and Boyd Acres cost estimates. They have been revised to include general conditions, insurance and bond costs as well as general contractor overhead and profit costs. Additionally, in an effort to compare and contrast the costs of the current proposed Juniper Ridge master plan concepts with the 2015 Pilot Butte and Boyd Acres master plan concepts, an escalation factor has been incorporated into the original cost estimates. This escalation factor results in costs that reflect estimated inflationary cost increases through a date approximately one year from the date of this report (to match the date of the costs shown for the Juniper Ridge concepts).

The revised project costs for the 2015 Pilot Butte and Boyd Acres master plan concepts are as follows:

2015 Pilot Butte Master Plan	\$38,067,068
2015 Boyd Acres Master Plan	\$17,283,143
Total	\$55,350,211

For comparison purposes, below are the costs of the Two current Juniper Ridge master plan concepts (See Section #2 of this report). Please note that the Juniper Ridge concepts will require major road and utility construction as there are no current roads or utilities servicing the sites for either of the concepts. The costs for these off-site requirements are not considered in the following Juniper Ridge concept cost estimates.

Juniper Ridge Master Plan – Concept #1 **\$62,959,003**

Juniper Ridge Master Plan – Concept #2 **\$63,584,134**

Below is a list of notable differences between the Juniper Ridge master plan concepts and the 2015 Pilot Butte and Boyd Acres concepts that play a role in the differences in costs of the older and current concepts.

- The Juniper Ridge concepts have only one consolidated vehicle wash facility, one consolidated fuel island and one consolidated yard/material bin area. The 2015 concept had one of each for the two sites.
- All buildings in the Juniper Ridge concepts are new construction. Several building in the 2015 concept are to be remodels of existing buildings.
- The Juniper Ridge concepts both require extensive cut and fill of the sites.

**CITY OF BEND PUBLIC WORKS MASTER PLANNING
2015 PILOT BUTTE SITE CONCEPT COST ESTIMATE REVISION**

	Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information
I - Fuel Island						
A	Construction Costs					
	General Site Work		80,000	SF	\$5	\$400,000
	Decommissioning Ex Fuel Area		1	LS	\$80,000	\$80,000
	Site Fencing		3,500	LF	\$25	\$87,500 Plus access gates
	Fuel Island		1	LS	\$800,000	\$800,000
A1	Total Building Costs				\$1,367,500	
A2	Contingency	20%	Of Line A1		\$273,500	
A3	Escalation	18%	Of Line A1+A2		\$295,380	
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$193,638	
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$106,501	
A6	Total Construction Costs				\$2,236,519	
B	Soft Cost					
B1	A&E, permits, fees, inspections	20%	Of Line A1+A2+A3		\$387,276.00	
C	Interior Costs (N/A)					
D	Total Project Costs					
	Total Construction Costs		A6		\$2,236,519	
	Total Soft Costs		B1		\$387,276	
	Total Project Costs				\$2,623,795	
II - Site Grading/Paving/Fencing						
A	Construction Costs					
	General Site Work		650,000	SF	\$5	\$3,250,000
	Misc. Paving and Drainage		200,000	SF	\$3	\$600,000
A1	Total Building Costs				\$3,850,000	
A2	Contingency	20%	Of Line A1		\$770,000	
A3	Escalation	18%	Of Line A1+A2		\$831,600	
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$545,160	
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$299,838	
A6	Total Construction Costs				\$6,296,598	
B	Soft Cost					
B1	A&E, permits, fees, inspections	20%	Of Line A1+A2+A3		\$1,090,320	
C	Interior Costs (N/A)					
D	Total Project Costs					
	Total Construction Costs		A6		\$6,296,598	
	Total Soft Costs		B1		\$1,090,320	
	Total Project Costs				\$7,386,918	

**CITY OF BEND PUBLIC WORKS MASTER PLANNING
2015 PILOT BUTTE SITE CONCEPT COST ESTIMATE REVISION**

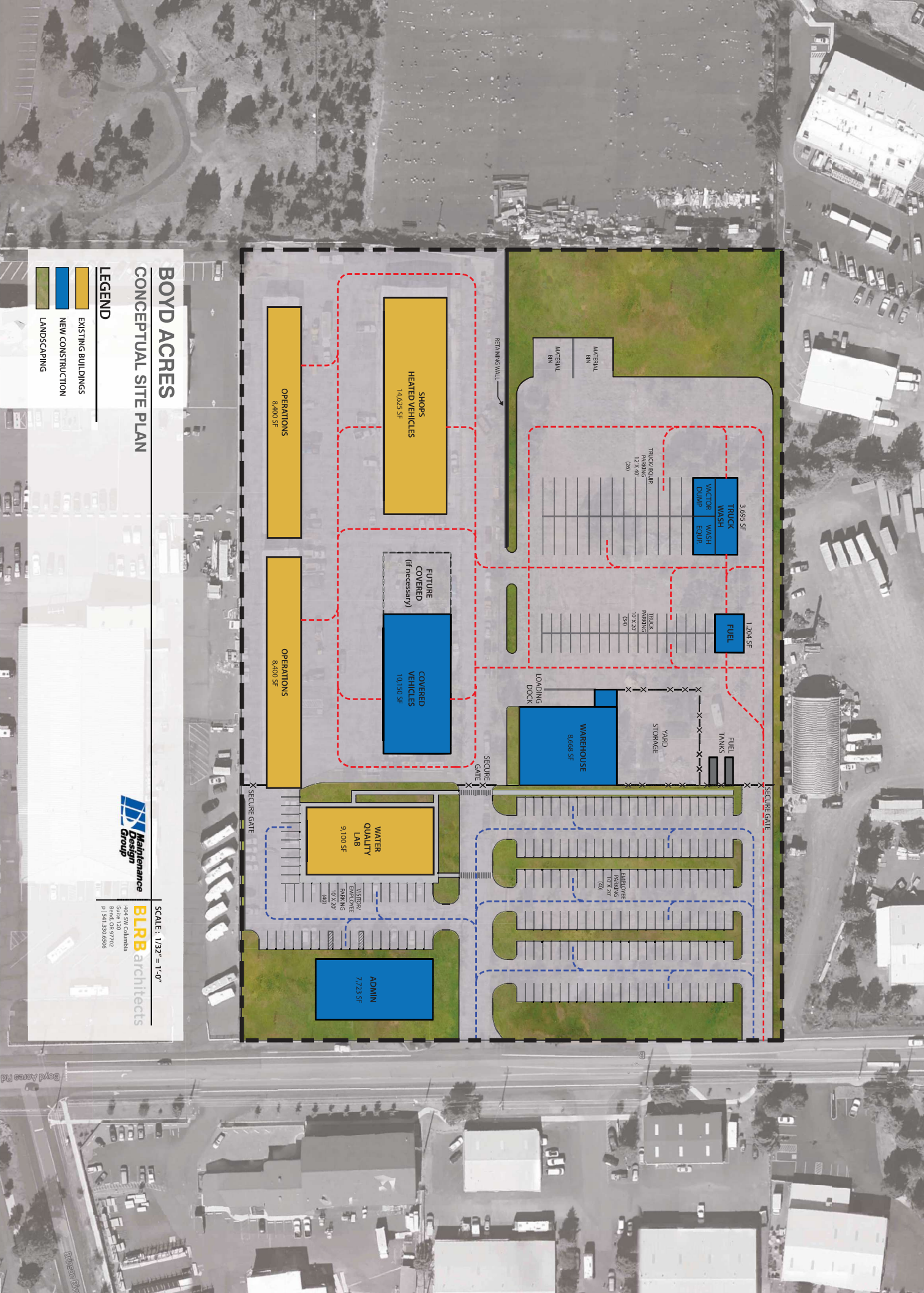
	Area	Drw. Ref.		Qty.	Cost Per	Total	Additional Information
III - Vehicle Storage/Parking							
A	Construction Costs						
	Covered Truck Parking Building #1	20' x 220'	4,400	SF	\$55	\$242,000	Open, some power
	Covered Truck Parking Buiding #2	20' x 220'	4,400	SF	\$55	\$242,000	Open, some power
	Heated Parking Building #1	40' x 220'	8,800	SF	\$90	\$792,000	36 14 w doors, power, heat
	Covered Parking Building #1	40' x 220'	8,800	SF	\$75	\$660,000	
	Yard Area - Material Bin, Vactor Dump		12,000	SF	\$10	\$120,000	
	Mag Chloride Area	20' x 50'	1	LS	\$100,000	\$100,000	Ext. tanks, concrete pad
	Decant Facility	40' x 80'	3,200	SF	\$40	\$128,000	
	Police Parking Lot Revised	200' x 340'	68,000	SF	\$6	\$408,000	Not included in Juniper Ridge Concepts
	Finish Site Work		400,000	SF	\$2	\$800,000	Paving, drainage, landscape
A1	Total Building Costs					\$3,492,000	
A2	Contingency	20%	Of Line A1		\$698,400		
A3	Escalation	18%	Of Line A1+A2		\$754,272		
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$494,467		
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$271,957		
A6	Total Construction Costs					\$5,711,096	
B	Soft Cost						
B1	A&E, permits, fees, inspections	25%	Of Line A1+A2+A3		\$1,236,168		
C	Interior Costs (N/A)						
D	Total Project Costs						
	Total Construction Costs		A6		\$5,711,096		
	Total Soft Costs		B1		\$1,236,168		
	Total Project Costs					\$6,947,264	
IV - Fleet Building							
A	Construction Costs						
	Fleet Maintenance Building	9	110' x 310'	36,300	SF	\$145	\$5,263,500
	Fleet Maintenance - FFE			36,300	SF	\$40	\$1,452,000
	Finish Site Work			150,000	SF	\$2	\$300,000
	Truck Wash	10		1	LS	\$450,000	\$450,000 Fencing, drainage, landscape
A1	Total Building Costs					\$7,465,500	
A2	Contingency	20%	Of Line A1		\$1,493,100		
A3	Escalation	18%	Of Line A1+A2		\$1,612,548		
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$1,057,115		
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$581,413		
A6	Total Construction Costs					\$12,209,676	
B	Soft Cost						
B1	A&E, permits, fees, inspections	25%	Of Line A1+A2+A3		\$2,642,787		
C	Interior Costs						
C1	The 2015 cost estimate listed FF&E cost within construction components. See above	0%	Of Line A6		\$0 F,F,& E, 5% to 25% of total construction costs. Cost was shown as \$1,400,000 in 2015 study.		
D	Total Project Costs						
	Total Construction Costs		A6		\$12,209,676		
	Total Soft Costs		B1		\$2,642,787		
	Total Interior Costs		C1		\$0		
	Total Project Costs					\$14,852,463	

**CITY OF BEND PUBLIC WORKS MASTER PLANNING
2015 PILOT BUTTE SITE CONCEPT COST ESTIMATE REVISION**

	Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information
V - Operation Building Remodel						
A	Construction Costs					
	Office Demo and Remodel		14,000	SF	\$85	\$1,190,000
	Shop Area Repurposing		16,000	SF	\$30	\$480,000
	Parking Lot Revised	120' x 280'	33,600	SF	\$6	\$201,600
A1	Total Building Costs				\$1,871,600	
A2	Contingency	20%	Of Line A1		\$374,320	
A3	Escalation	18%	Of Line A1+A2		\$404,266	
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$265,019	
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$145,760	
A6	Total Construction Costs				\$3,060,964	
B	Soft Cost					
B1	A&E, permits, fees, inspections	20%	Of Line A1+A2+A3		\$530,037	
C	Interior Costs					
C1	None shown in 2015 cost estimate	15%	Of Line A6		\$459,145 F,F,& E, 5% to 25% of total construction costs	
D	Total Project Costs					
	Total Construction Costs		A6		\$3,060,964	
	Total Soft Costs		B1		\$530,037	
	Total Interior Costs		C1		\$459,145	
	Total Project Costs				\$4,050,146	
VI - Relocate Sand Pile						
A	Construction Costs					
	Sand Pile Yard Relocated	320' x 250'	80,000	SF	\$5	\$400,000 Concrete wall, asphalt
	Misc.		1	LS		\$100,000
A1	Total Building Costs				\$500,000	
A2	Contingency	20%	Of Line A1		\$100,000	
A3	Escalation	18%	Of Line A1+A2		\$108,000	
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$70,800	
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$38,940	
A6	Total Construction Costs				\$817,740	
B	Soft Cost					
B1	A&E, permits, fees, inspections	20%	Of Line A1+A2+A3		\$141,600	
C	Interior Costs (N/A)					
D	Total Project Costs					
	Total Construction Costs		A6		\$817,740	
	Total Soft Costs		B1		\$141,600	
	Total Project Costs				\$959,340	

**CITY OF BEND PUBLIC WORKS MASTER PLANNING
2015 PILOT BUTTE SITE CONCEPT COST ESTIMATE REVISION**

	Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information
VI - Employee Parking						
A	Construction Costs					
	Employee Parking	180' x 250'	55,000 SF	\$10	\$550,000	New
	Misc.		1 LS	\$100,000	\$100,000	
A1	Total Building Costs				\$650,000	
A2	Contingency	20%	Of Line A1		\$130,000	
A3	Escalation	18%	Of Line A1+A2		\$140,400	
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$92,040	
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$50,622	
A6	Total Construction Costs				\$1,063,062	
B	Soft Cost					
B1	A&E, permits, fees, inspections	20%	Of Line A1+A2+A3		\$184,080	
C	Interior Costs					
D	Total Project Costs					
	Total Construction Costs		A6		\$1,063,062	
	Total Soft Costs		B1		\$184,080	
	Total Project Costs				\$1,247,142	
TOTAL CITY OF BEND PUBLIC WORKS COMPLEX					\$38,067,068	



BOYD ACRES

CONCEPTUAL SITE PLAN

LEGEND

- EXISTING BUILDINGS
- NEW CONSTRUCTION
- LANDSCAPING



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SCALE: 1/32" = 1'-0"

**CITY OF BEND PUBLIC WORKS MASTER PLANNING
2015 BOYD ACRES SITE CONCEPT COST ESTIMATE REVISION**

	Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information
I - Property Purchase						
A	Construction Costs					
	Property Purchase (\$1,100,000) already made		1	\$0	\$0	
A1	Total Building Costs				\$0	
A2	Contingency	15%	Of Line A1		\$0	
A3	Escalation	18%	Of Line A1+A2		\$0	
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$0	
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$0	
A6	Total Construction Costs				\$0	
B	Soft Cost					
B1	A&E, permits, fees, inspections	15%	Of Line A1+A2+A3		\$0.00	
C	Interior Costs (N/A)					
D	Total Project Costs					
	Total Construction Costs		A6		\$0	
	Total Soft Costs		B1		\$0	
	Total Project Costs				\$0	
II - Site Development/Fuel Island						
A	Construction Costs					
	Employee Parking Lot		50,400 SF	\$12	\$604,800	Site Work, landscaping
	Truck Wash		1	\$425,000	\$425,000	
	Site Development	500' x 220'	110,000 SF	\$7	\$770,000	Hardscape, Drainage
	Fuel Island		1	\$255,000	\$255,000	
A1	Total Building Costs				\$2,054,800	
A2	Contingency	20%	Of Line A1		\$410,960	
A3	Escalation	18%	Of Line A1+A2		\$443,837	
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$290,960	
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$160,028	
A6	Total Construction Costs				\$3,360,584	
B	Soft Cost					
B1	A&E, permits, fees, inspections	25%	Of Line A1+A2+A3		\$727,399	
C	Interior Costs (N/A)					
D	Total Project Costs					
	Total Construction Costs		A6		\$3,360,584	
	Total Soft Costs		B1		\$727,399	
	Total Project Costs				\$4,087,984	

**CITY OF BEND PUBLIC WORKS MASTER PLANNING
2015 BOYD ACRES SITE CONCEPT COST ESTIMATE REVISION**

	Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information
III - Operations Remodel						
A	Construction Costs					
	Interior Remodel, Covered Walk	30' x 240'	8,640	SF	\$75	\$648,000
A1	Total Building Costs					\$648,000
A2	Contingency	12%	Of Line A1			\$77,760
A3	Escalation	18%	Of Line A1+A2			\$130,637
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3			\$85,640
A5	GC oh&p	5%	Of Line A1+A2+A3+A4			\$47,102
A6	Total Construction Costs					\$989,138
B	Soft Cost					
B1	A&E, permits, fees, inspections	25%	Of Line A1+A2+A3			\$214,099
C	Interior Costs (N/A)					
D	Total Project Costs					
	Total Construction Costs		A6			\$989,138
	Total Soft Costs		B1			\$214,099
	Total Project Costs					\$1,203,238
IV - New Administration Building						
A	Construction Costs					
	New Administration Building	9	60' x 100'	12,000	SF	\$200 \$2,400,000
A1	Total Building Costs					\$2,400,000
A2	Contingency	20%	Of Line A1			\$480,000
A3	Escalation	18%	Of Line A1+A2			\$518,400
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3			\$339,840
A5	GC oh&p	5%	Of Line A1+A2+A3+A4			\$186,912
A6	Total Construction Costs					\$3,925,152
B	Soft Cost					
B1	A&E, permits, fees, inspections	25%	Of Line A1+A2+A3			\$849,600
C	Interior Costs					
C1	Furniture, Fixtures, and Specialized Equipment (not shown in 2015 estimate)	15%	Of Line A6			\$588,773
F,F,& E, 5% to 25% of total construction costs. Cost was shown as \$1,400,000 in 2015 study.						
D	Total Project Costs					
	Total Construction Costs		A6			\$3,925,152
	Total Soft Costs		B1			\$849,600
	Total Interior Costs		C1			\$588,773
	Total Project Costs					\$5,363,525

**CITY OF BEND PUBLIC WORKS MASTER PLANNING
2015 BOYD ACRES SITE CONCEPT COST ESTIMATE REVISION**

	Area	Drw. Ref.	Qty.	Cost Per	Total	Additional Information
V - Water Quality Lab						
A	Construction Costs					
	Existing Admin Building Remodeled into Water Quality Lab	72' x 140'	9,400 SF	\$90	\$846,000	
A1	Total Building Costs				\$846,000	
A2	Contingency	15%	Of Line A1		\$126,900	
A3	Escalation	18%	Of Line A1+A2		\$175,122	
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$114,802	
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$63,141	
A6	Total Construction Costs				\$1,325,965	
B	Soft Cost					
B1	A&E, permits, fees, inspections	25%	Of Line A1+A2+A3		\$287,006	
C	Interior Costs					
C1	Furniture, Fixtures, and Specialized Equipment (not shown in 2015 estimate)	15%	Of Line A6		\$198,895	F, F, & E, 5% to 25% of total construction costs
D	Total Project Costs					
	Total Construction Costs		A6		\$1,325,965	
	Total Soft Costs		B1		\$287,006	
	Total Interior Costs		C1		\$198,895	
	Total Project Costs				\$1,811,866	
VI - Warehouse/Covered Storage						
A	Construction Costs					
	Covered Vehicle - Open	72' x 140'	9,800 SF	\$90	\$882,000	Open metal building
	Covered Pipe Storage - Open	25' x 200'	5,000 SF	\$90	\$450,000	Open metal building
	Warehouse & Yard	80' x 100'	9,900 SF	\$110	\$1,089,000	Metal building, high bay
A1	Total Building Costs				\$2,421,000	
A2	Contingency	20%	Of Line A1		\$484,200	
A3	Escalation	18%	Of Line A1+A2		\$522,936	
A4	General Conditions, insurance, bond	10%	Of Line A1+A2+A3		\$342,814	
A5	GC oh&p	5%	Of Line A1+A2+A3+A4		\$188,547.48	
A6	Total Construction Costs				\$3,959,497	
B	Soft Cost					
B1	A&E, permits, fees, inspections	25%	Of Line A1+A2+A3		\$857,034	
C	Interior Costs					
D	Total Project Costs					
	Total Construction Costs		A6		\$3,959,497	
	Total Soft Costs		B1		\$857,034	
	Total Project Costs				\$4,816,531	
TOTAL CITY OF BEND PUBLIC WORKS COMPLEX					\$17,283,143	